



CITY OF LEEDS, ALABAMA

PLANNING AND ZONING COMMISSION AGENDA

1412 9th St - Annex

October 13, 2022 @ 5:00 PM

CALL TO ORDER:

ROLL CALL:

DETERMINATION OF QUORUM:

APPROVAL OF MINUTES FROM PREVIOUS MEETING(S):

OLD BUSINESS:

NEW BUSINESS:

1. Administrative - Construction Plan Review - Parkstone Meadows Apartments - 1198 Maplewood Dr - TPID 250020400202000 - Zoned R-3, Multi-Family District.
2. SA22-000020 - A request by Crystal Grimmer, Applicant, AMIC, Property Owner, for preliminary plat approval for Rockhampton Phase One (1) Sector Two (2) and Rockhampton Phase Two (2) located at 1250 Maitland Rd, Leeds, AL 35094, TPID 2500153001004001, Jefferson County, Zoned R-2, Single Family District
3. SA22-000021 - A request by Kenneth and Sandra Simmons, Applicant and Owner for two (2) lot subdivision at 8681 Spruiell St., TPID 250022100008004, Jefferson County, Zoned - I-2, Heavy Industrial District
4. Administrative - Determination of Bond/Surety for Southern Trace Sector 5

PUBLIC ADDRESS:

OTHER BUSINESS:

CHAIRPERSON'S COMMUNICATION:

ADJOURNMENT:

In compliance with the Americans with Disabilities Act, those requiring accommodation for Council meetings should notify the City Clerk's Office at least 24 hours prior to the meeting at 205-699-2585.

File Attachments for Item:

1. Administrative - Construction Plan Review - Parkstone Meadows Apartments - 1198 Maplewood Dr - TPID 250020400202000 - Zoned R-3, Multi-Family District.

R- 3 APARTMENT DEVELOPMENT
CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA
MARCH 10th, 2022

PRELIMINARY PLAN AND CONSTRUCTION PLANS FOR *PARKSTONE MEADOWS*

NOTES:

- (1) THIS PROJECT IS TO BE BUILT IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS OF THE CITY OF LEEDS. CONTRACTOR SHALL NOTIFY CITY ENGINEER OF LEEDS BEFORE BEGINNING CONSTRUCTION.
- (2) UTILITY CONTRACTOR SHALL OBTAIN PERMIT FROM CITY OF LEEDS BEFORE INSTALLING UTILITIES.
- (3) WATER FOR THIS PROJECT WILL BE FURNISHED BY THE LEEDS WATER BOARD.
- (4) UTILITY LOCATIONS ARE FROM UTILITY COMPANY RECORDS AND ARE APPROXIMATE. UTILITY LINES SHOULD BE FIELD CHECKED BEFORE BEGINNING ANY CONSTRUCTION.
- (5) THE NUMBER, LOCATION AND SPACING OF FIRE HYDRANTS SHALL BE IN ACCORD WITH THE RECOMMENDATIONS OF THE CITY ENGINEER AND/OR FIRE CHIEF.
- (6) ALL EASEMENTS SHOWN IN THIS SUBDIVISION ARE TO SERVE PUBLIC UTILITIES, SANITARY AND STORM SEWERS, AND DRAINAGE DITCHES BOTH WITHIN AND WITHOUT THIS SUBDIVISION.
- (7) ALL TRAFFIC CONTROL SIGNS AND PAINT STRIPING ARE TO BE FURNISHED AND INSTALLED BY THE DEVELOPER.
- (8) ALL TRAFFIC CONTROL DEVICES AND THEIR INSTALLATION SHALL BE IN ACCORDANCE WITH THE MOST CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- (9) ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE SO AS TO MINIMIZE THE AREA OF EXPOSED SOIL AT ONE TIME.
- (10) ANY SEDIMENT REACHING THE ROADWAY SHALL BE REMOVED BY STREET CLEANING, NOT BY FLUSHING, BEFORE THE END OF EACH DAY.
- (11) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- (12) JOB SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- (13) STONE BACKFILL SHALL BE USED THE FULL DEPTH OF TRENCH UNDER ALL PAVEMENT IN ROW ONLY.
- (14) CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION & MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS AND WATERWAYS.
- (15) CONTRACTOR AND DEVELOPER RESPONSIBLE FOR PROVIDING A BUILDING SITE FREE OF DRAINAGE PROBLEMS.
- (16) CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A PROPER TRAFFIC CONTROL PLAN FOR PUBLIC SAFETY ADJACENT TO CONSTRUCTION SITE. THE TRAFFIC CONTROL PLAN SHALL BE IN ACCORDANCE WITH MUTCD, LATEST EDITION.
- (17) NO SUBSURFACE INVESTIGATION HAS BEEN DONE BY MTM ENGINEERS, INC. A GEOTECHNICAL ENGINEER SHOULD REVIEW THE SITE BEFORE BEGINNING CONSTRUCTION.
- (18) ALL EXISTING UTILITIES APPURTENANCES, DRAINAGE STRUCTURES AND ACCESSORIES SHOULD BE DETERMINED TO MAINTAIN MINIMUM COVERAGE
- (19) ALL DISTURBED AREAS TO BE SEEDED OR SODDED PER LATEST AL DOT SPECIFICATIONS FOR GRASSING OR LANDSCAPED PER LANDSCAPE PLAN.
- (20) WATER MAINS SHALL MEET ALL STANDARDS AND SPECIFICATIONS OF LEEDS WATER WORKS.
- (21) SEWER LINE CONSTRUCTION SHALL COMPLY WITH JEFFERSON COUNTY HEALTH DEPT REGULATIONS AND SPECIFICATIONS.
- (22) DATUM IS U.S.G.S. JEFF. CO. SUPPLIED TOPO.
- (23) CONTOUR INTERVAL IS ONE FOOT.
- (24) SITE BENCHMARK IS CRIMP IRON AT SE CORNER OF PROPERTY. ELEV =ELEVATION = 599.28
- (25) BOUNDARY OF PHASE IV CLOSES 1 IN 10000 MEETING 3RD ORDER ACCURACY.
- (26) There are no wooded areas, wetlands, unstable soils or slopes and any other adverse condition affecting the site

B. There are no wooded areas, wetlands, unstable soils or slopes and any other adverse conditions affecting the site.

C. Site Assessment:

- (a) geologic formations - None
- (b) soils classifications - See Index at right
- (c) colluvium - None
- (d) bluffs - None
- (e) sinkholes - None
- (f) caves - None
- (g) landslides (active and inactive) - None
- (h) lineaments - None
- (A) springs - None
- (j) seeps - None
- (j) streams (perennial, intermittent, wet weather) - None
- (k) wetlands - None
- (m) Groundwater recharge points - None
- (n) vegetative communities, including the five most abundant tree and floral species for each community, in order of abundance and including the approximate age of each community. See table at right
- (o) endangered and threatened species as determined by the US Fish and Wildlife Service - None
- (p) evidence of recent or ancient quarry operations - None
- (q) spoils areas- None
- (r) dump sites (active, inactive, or covered/reclaimed)- None
- (s) existing fills and excavations- None

D. There are wetlands, unstable soils or slopes and any other adverse condition affecting the site.

E. Site Assessment:

- (a) geologic formations - None
- (b) soils classifications - See Index at right
- (c) colluvium - None
- (d) bluffs - None
- (e) sinkholes - None
- (f) caves - None
- (g) landslides (active and inactive) - None
- (h) lineaments - None
- (b) springs - None
- (j) seeps - None
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- (o) endangered and threatened species as determined by the US Fish and Wildlife Service - None
- (p) evidence of recent or ancient quarry operations - None
- (q) spoils areas- None
- (r) dump sites (active, inactive, or covered/reclaimed)- None
- (s) existing fills and excavations- the streets and detention pond were graded in 2003.
- (t) existing drainage retention and detention areas- See Sheet # 9
- (u) wells, whether active or inactive, open or closed storage tanks, regardless of contents, both above ground and underground-None

F. Site assessment map

- (a) Joseph A. Miller, III, PE/LS 17054, Observed during site walk through for items a-u
- (b) Soils types by graphic plotting from Soils Conservation Service Map: Bodine-Fullerton association, steep

No other findings

- (d) There are no adverse effects from items a-u.
- (e) There are no adverse effects from items a-u.
- (f) 20' Required front and 30'rear

G. Site Information:

60 Apartment Homes
9 The entire site soils type:
Fullerton-Bodine complex, 8 to 12 percent slopes
Vegative communities

Trees:

- 1. Pine trees over 6" in diameter = 155, age 15 years
- 2. Clusters of mimosa trees over 6" in diameter = 43, age 15 years
- 3. Oak trees over 6", larger ones 15-24" in diameter = 10, age 150 years
- 4. Sweetgum Trees 6" in diameter = 20, age 15 years
- 5. Elm Trees, 6" in diameter = 8, age 15 years

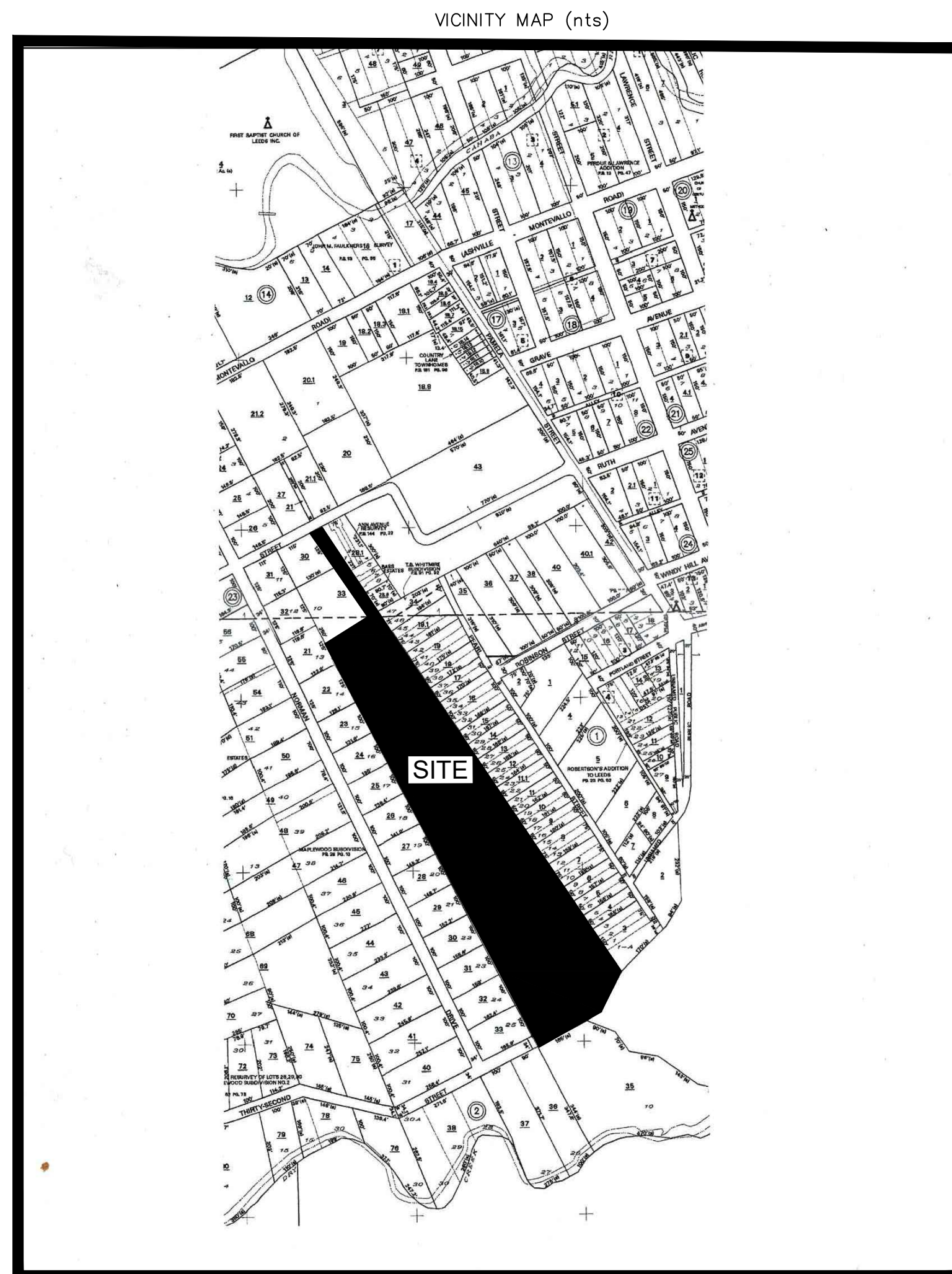
Flowers:

No flowers were observed.

Note:

- 1. No part of this subdivisions subtending land falls within 200 ft. of any Gas Transmission Pipeline or Fiber optic trunk line.

All easements shown on this map are for public utilities, storm sewers, sanitary sewers, open storm sewer ditches and may be used for such purposes to serve both within and without this subdivision



Parkstone Meadows, LLC,

Owner / Developer:
Steve French
Parkstone Meadows, LLC,
1309 Coffeen Avenue, Suite 1200
Sheridan, Wyoming, 82801

Engineer:
Joseph A. Miller, III
MTTR ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
3 Riverchase Ridge
Hoover, Al. 35244

INDEX TO SHEETS

SHEET NO.	TITLE
T	TITLE SHEET
01	PRELIMINARY PLAN
02	GRADING PLAN
03	WATER MAIN EXTENSION
04	STORM PROFILES
05	DETENTION PONDS
06	SANITARY SEWER PLAN AND PROFILES
07	DETAILS
08	DETAILS
09	SITE ASSESSMENT MAP
10	BMP NOTES
11	BMP NOTES DETAILS
12	BMP NOTES DETAILS

SITE DATA TABLE

PROPERTY AREA= 7.82 AC.

ZONING: R-3 City of Leeds

LAND USE
CURRENT: VACANT R-3
PROPOSED 60 2 Bedroom Apt. Units
126 Proposed 9' x 19' Parking Spaces, 120 Required Parking Spaces

BUILDING SETBACKS:
Front: 35'feet
Rear: 35' feet
Side: 10 feet

SITE TRAFFIC CALCULATIONS
60 Units 2 Bedroom Apts

Expected daily traffic volume
60 units x 2.5 Trips per day = 150 Trips

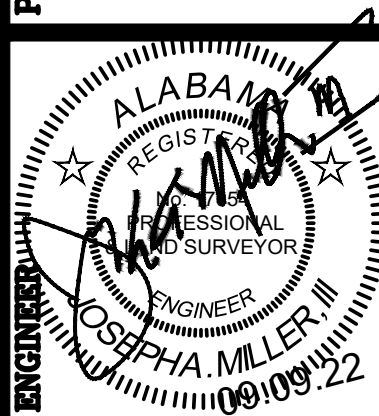
from 8th Edition ITE Trip Generation Tables

1. INSTALL SILT FENCES ALONG THE SIDE SLOPE AND DOWN-SLOPE BOUNDARIES OF THE PROPERTY.
2. PROTECTION STORM DRAIN INLETS DOWN STREAM OF CONSTRUCTION FOR INDIVIDUAL LOTS WITH BARRIER AND/OR OTHER PROTECTIVE MEASURES.
3. CLEARING AND GRUBBING AS REQUIRED.
4. APPLY STONE TO DRIVE WAY TO STABILIZE ENTRANCE TO LOT.
5. INSTALL SILT FENCE AROUND STOCKPILES SOIL.
6. CONSTRUCT ROADS, INFRASTRUCTURE, GRADING FOR HOUSE SITES.
7. TEMPORARILY OR PERMANENTLY STABILIZE STRIPPED AREAS AND STOCKPILES WITHIN 13 DAYS OF LAST CONSTRUCTION ACTIVITY IN THAT AREA.
8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTINGS.
9. COMPLETE FINAL PAVING FOR ROADS.
10. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE, REMOVE SILT FENCE AND RESEED ANY BARE SPOTS OR WASHOUTS.
1. EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE JOB SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
2. ALL CONSTRUCTION SHALL BE DONE IN A LOGICAL SEQUENCE SO TO MINIMIZE THE AREA OF EXPOSED SOIL AT ANY ONE TIME.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SITE SAFETY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
5. NO WORK IS TO BEGIN UNTIL COPIES OF ALL REQUIRED PERMITS IS FURNISHED TO THE OWNER.
6. THE CONTRACTOR IS TO INSTALL ALL EROSION CONTROL DEVICES BEFORE ANY CONSTRUCTION BEGINS. SUCH DEVICES SHALL BE INSPECTED AFTER EVERY 0.50" RAINFALL AND BE REPAIRED AND MAINTAINED UNTIL ALL CONSTRUCTION IS COMPLETED.
7. ALL DISTURBED GROUND LEFT INACTIVE FOR 13 OR MORE DAYS SHALL BE STABILIZED BY SEEDING, OR SODDING.
8. ANY SEDIMENT REACHING THE ROADWAY SHALL BE REMOVED BY STREET CLEANING, AND NOT BY FLUSHING, BEFORE THE END OF EACH DAY.
9. COMPLETE FINAL PAVING FOR ROADS.
10. ALL DISTURBED SHALL BE SEEDED & MULCHED AS PER AL. D.O.T. STANDARDS AND SPECIFICATIONS OR LANDSCAPED.

MTTR ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
3 Riverchase Ridge
HOOVER, AL 35244



TITLE SHEET
PARKSTONE MEADOWS
KATIE LANE
LEEDS ALABAMA
Parkstone Meadows, LLC,
Sheridan, Wyoming, 82801

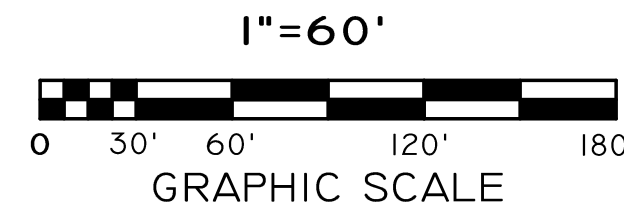


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FILE NAME:	PARKSTONE MEADOWS
DATE:	03-10-22
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CHECKED:	JAM III
SCALE:	1"=60'
SHEET	T

Owner / Developer:
 Steve French
 Parkstone Meadows, LLC,
 1309 Coffeen Avenue, Suite 1200
 Sheridan, Wyoming, 82801

Engineer:
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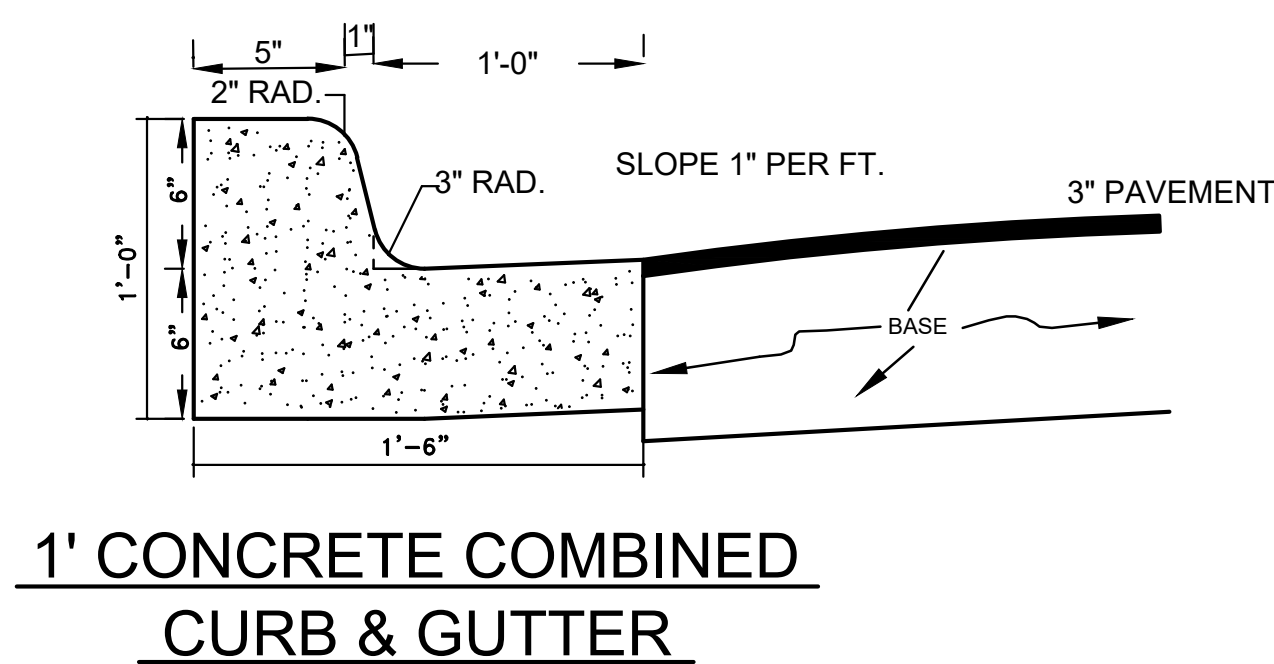
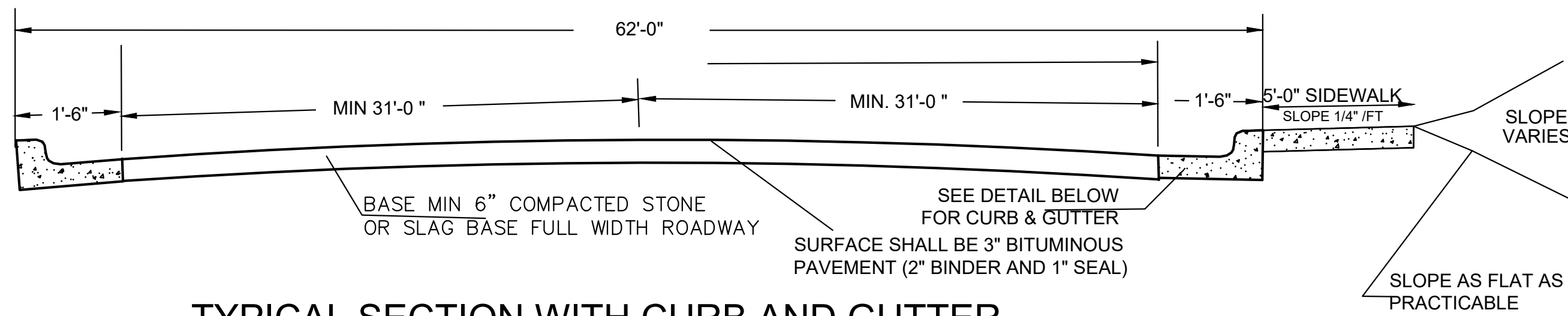
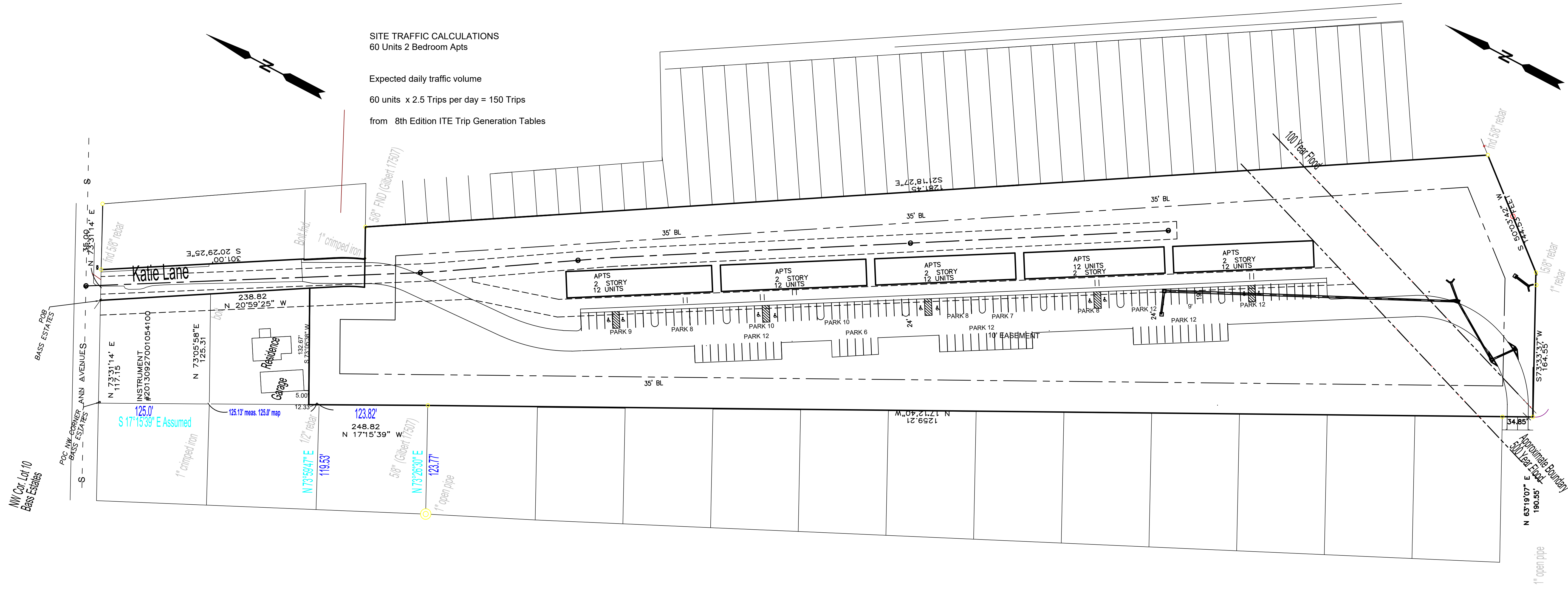
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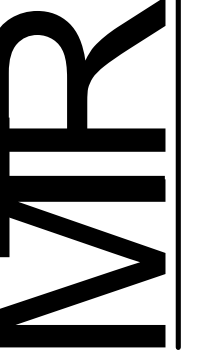
Expected daily traffic volume
 60 units x 2.5 Trips per day = 150 Trips
 from 8th Edition ITE Trip Generation Tables



GENERAL NOTES FOR CURB AND CURB AND GUTTER

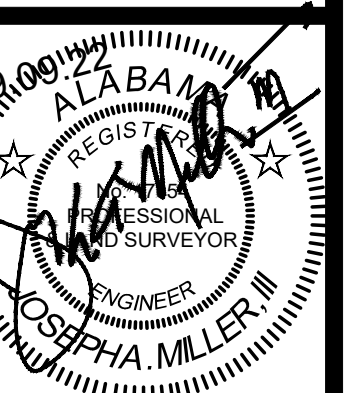
1. EXPANSION JOINTS SHALL BE PLACED IN CURB AND/OR GUTTER TO MATCH THOSE IN CONCRETE PAVEMENT WHERE THE TWO ARE ADJACENT.
2. EXPANSION JOINTS 3/4 INCH WIDE SHALL BE PLACED WHERE CURB AND/OR GUTTER TERMINATES AGAINST RIGID OBJECTS.
3. EXPANSION JOINT FILLER AND SEALER SHALL MEET THE REQUIREMENTS OF ARTICLES 832.01 AND 832.02. EXPANSION JOINT FILLER SHALL EXTEND FROM THE BOTTOM OF THE CURB AND/OR GUTTER TO WITHIN ONE INCH OF THE TOP. THE SEALER SHALL BE 3/4 INCH THICK AND SHALL BE RECESSED 1/4 INCH FROM THE TOP.
4. CONTRACTION JOINTS SHALL BE PLACED IN CURB AND/OR GUTTER TO MATCH THOSE IN CONCRETE PAVEMENT WHERE THE TWO ARE ADJACENT, BUT IN NO INSTANCE MORE THAN 20 FEET BETWEEN JOINTS. THE CONTRACTION JOINTS SHALL BE SAWED OR OTHERWISE CUT 2 INCHES DEEP BY 1/8 INCH WIDE AND SHALL EXTEND 2 INCHES BELOW THE PAVEMENT SURFACE.
5. CONTRACTOR MAY BE PERMITTED TO EXCEED MIN. CURB HEIGHT IN ORDER TO PLACE CURB ON BASE LAYER, IF HE SO DESIRES.

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PRELIMINARY PLAN
 PARKSTONE MEADOWS
 KATIE LANE
 LEEDS ALABAMA
Parkstone Meadows, LLC,
 Sheridan, Wyoming, 82801

PROJECT



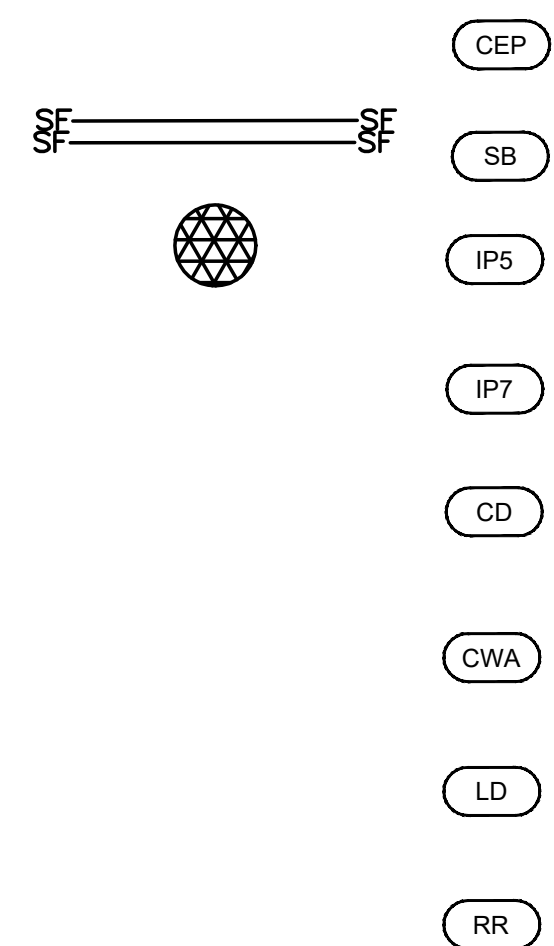
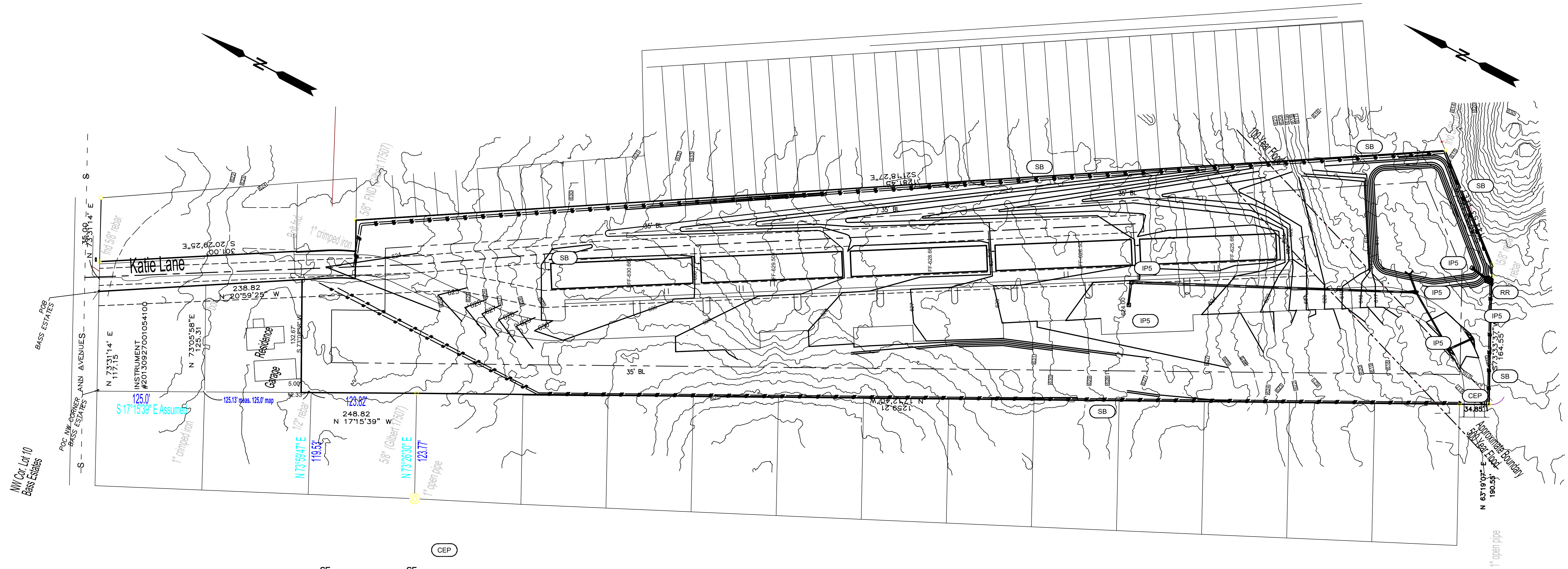
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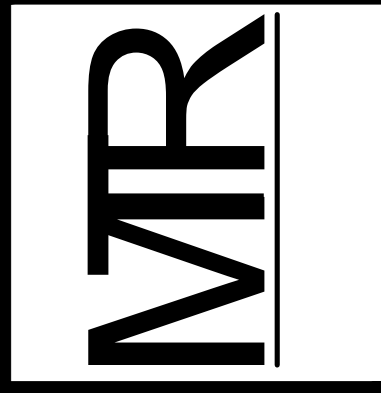
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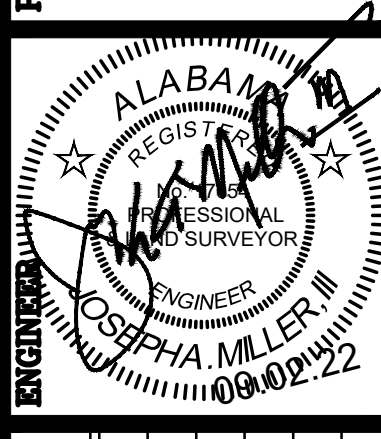


- EROSION CONTROL PHASING NOTES**
1. INSTALL STABILIZED CONSTRUCTION EXIT AND CEMPP ENTRANCE SIGN.
 2. INSTALL PERIMETER SILT FENCES ON THE SITE (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE).
 3. BEGIN CLEARING AND GRUBBING EACH HOME SITE.
 4. INSTALL REMAINING HYDRAULIC CONTROL STRUCTURES (BERMS, SWALES, CHECK DAMS, ETC.) AND STABILIZE.
 5. BEGIN GRADING THE SITE.
 6. TEMPORARILY SEED AND MULCH THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 13 DAYS OR LONGER.
 7. INSTALL UTILITY SERVICES, BUILD HOMES, DRIVEWAYS AND SIDEWALKS.
 8. INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES.
 9. PERMANENTLY STABILIZE AREAS TO BE VEGETATED IMMEDIATELY AS THEY ARE BROUGHT TO FINAL GRADE.
 10. COMPLETE GRADING, INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
 11. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER FINAL STABILIZATION IS COMPLETE.
 12. CONTRACT GCP FOR FINAL INSPECTION AND ISSUE NOTICE OF TERMINATION TO ADEM.

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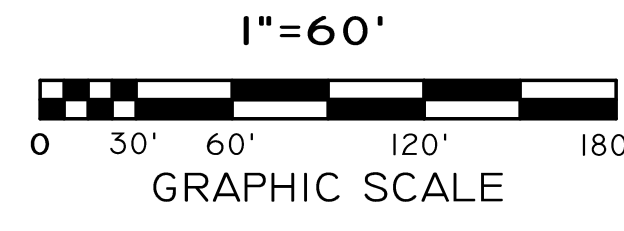
GRADING EROSION CONTROL PLAN
 PARKSTONE MEADOWS
 KATIE LANE
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Parkstone Meadows, LLC,
 Sheridan, Wyoming, 82801



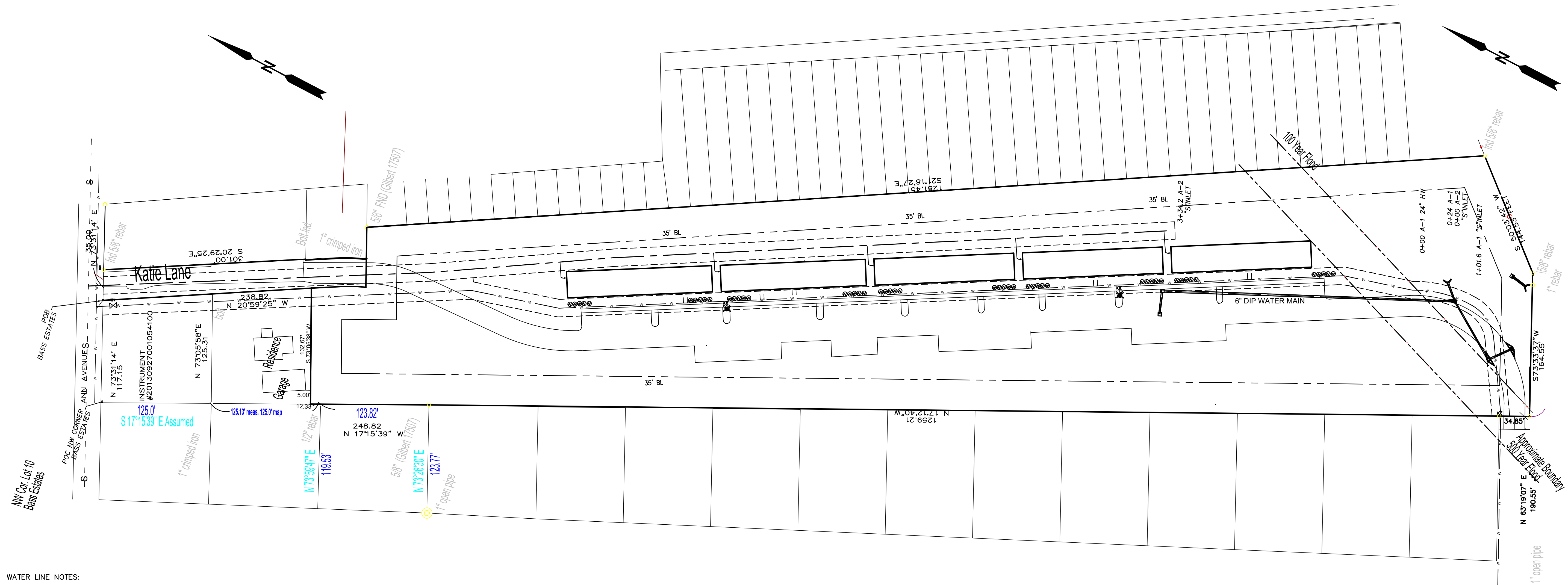
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 6/8-09-00-22
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 03.10.22
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 JAM III
 CHECKED:
 JAM III
 SCALE:
 1"=60'
 SHEET

Owner / Developer:
 Steve French
 Parkstone Meadows, LLC,
 1309 Coffeen Avenue, Suite 1200
 Sheridan, Wyoming, 82801



Engineer:
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 MTTR ENGINEERS, INC.
 CONSULTING ENGINEERS-LAND SURVEYORS
 2500 Southlake Park, Suite 100
 Hoover, AL 35244



WATER LINE NOTES:

- (1) CITY OF LEEDS SPECIFICATIONS SHALL APPLY.
- (2) CONTRACTOR IS TO NOTIFY CITY OF LEEDS 72 HOURS BEFORE BEGINNING CONSTRUCTION.
- (3) CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS.
- (4) ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE CURRENT ALABAMA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- (5) CONTRACTOR SHALL INSTALL EROSION CONTROL DEVICES BEFORE CONSTRUCTION BEGINS. SUCH DEVICES SHALL BE INSPECTED AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
- (6) JOB SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.
- (7) THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE CITY OF LEEDS WATER DEPARTMENT.
- (8) ALL WATER MAINS SHALL BE PER LWMB REQUIREMENTS AND SPECS.
- (9) ALL SERVICE SHALL BE REHAU/MUNIPLEX AND SHALL BE EXTEND PAST SIDEWALK.
- (10) FIRE HYDRANTS LOCATIONS SHALL BE DETERMINED BY THE CITY OF LEEDS FIRE CHIEF AND/OR CITY ENGINEER.
- (11) ALL FITTINGS TO BE LWMB REQUIREMENTS AND SPECIFICATIONS.
- (12) THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE CITY OF LEEDS WATER DEPARTMENT.
- (13) ALL WATER LINES SHALL BE PRESSURE TESTED AND TEST REPORTS SHALL BE PRESENTED TO LWMB.
- (14) ALL VALVES SHALL HAVE VALVE BOXES INSTALLED. PVC, D.I. PIPE SHALL NOT BE USED AS VALVE BOXES.
- (15) ALL VALVES BOXES SHALL BE UNCOVERED, BROUGHT TO GRADE LEVEL AND CONCRETE COLLARS INSTALLED.
- (16) ALL FIRE HYDRANTS ON POTABLE WATER SYSTEM SHALL BE AT GRADE LEVEL.
- (17) ALL SERVICE LINES SHALL BE EXPOSED WITH 3" PVC AND EXTEND A MINIMUM 2 FEET ABOVE GRADE.

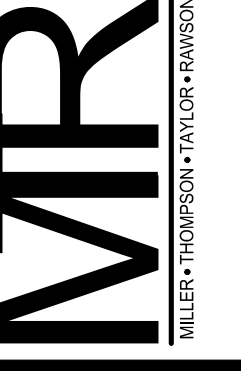
MATERIALS REQUIRED 01.26.22

- 1750 LF 6" DIP CLASS 350/350
- 2 FIRE DEPARTMENT CONNECTION
- 2 FIRE HYDRANTS WITH LOCKING FH TEE AND VALVE 2-6" VALVE
- 500 LBS. FITTINGS
- PRESSURE TEST OF SYSTEM
- TIE INTO EXISTING WATER MAINS
- HEALTH DEPT. WATER SAMPLES

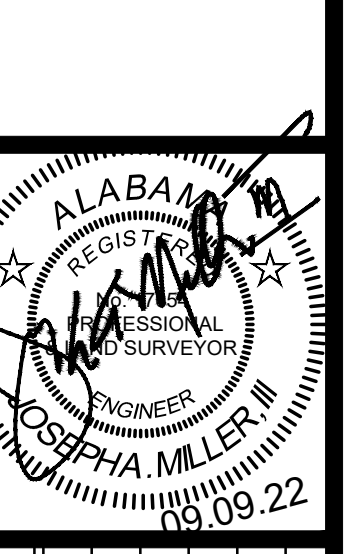
NOTE: LOCATION AND NUMBER OF FIRE HYDRANTS TO BE DETERMINED BY LEEDS FIRE CHIEF.

I:\Subdivisions\Parkstone Meadows Sub_Kath_Hqn\Parkstone Meadows\06.27.22.dwg Sep 09, 2022 1:23 pm

MTTR ENGINEERS, INC.
 CONSULTING ENGINEERS-LAND SURVEYORS
 3 Riverchase Ridge, Hoover, AL 35244
 TELEPHONE (205) 320-0114



WATER MAIN PLANS
 PARKSTONE MEADOWS
 KATIE LANE
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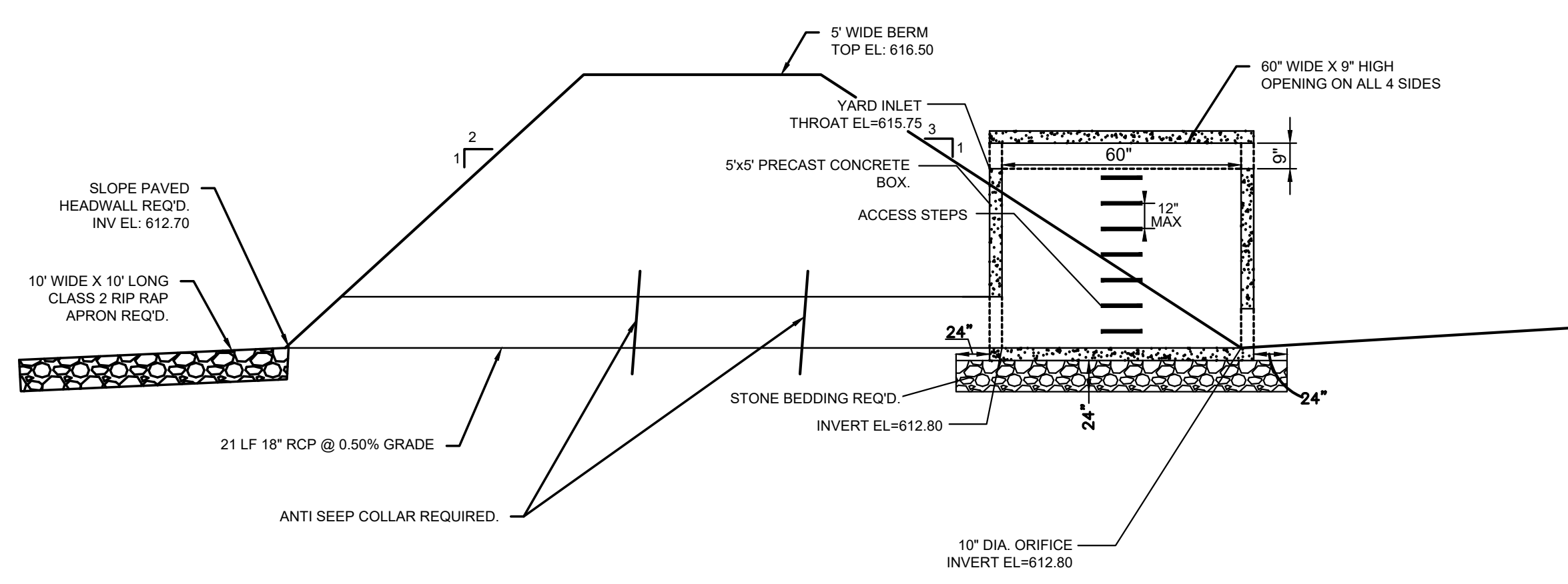
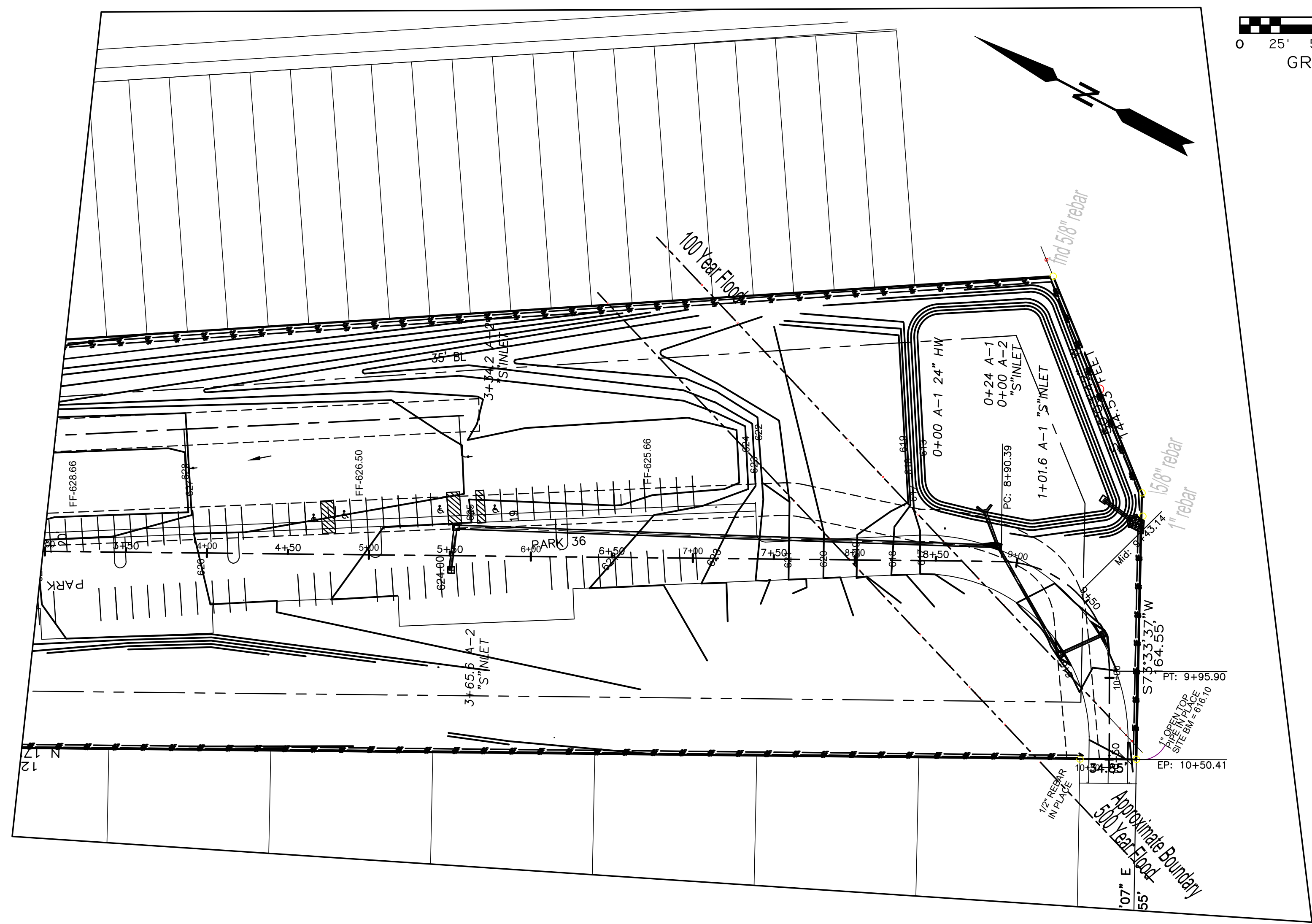
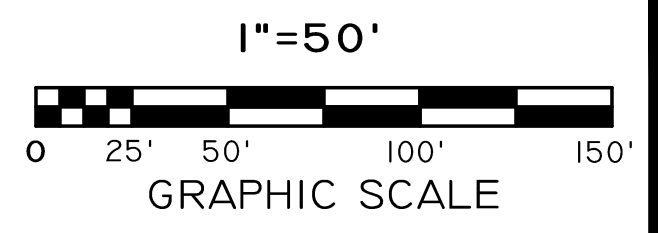


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 SCALE: 1"=60'
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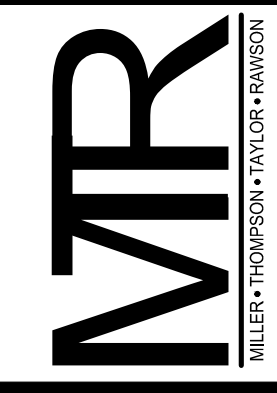
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 Hoover, AL 35244

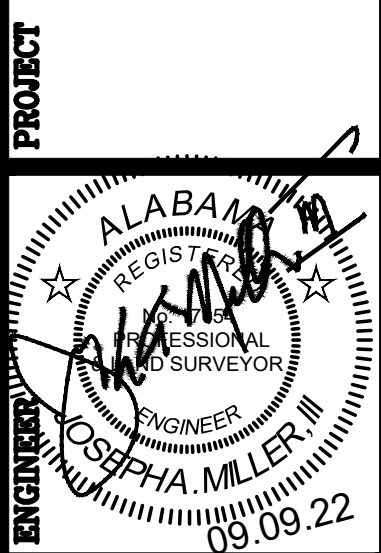


CONTROL STRUCTURE DETAIL (SOUTH POND)
 N.T.S.

MTTR ENGINEERS, INC.
 CONSULTING ENGINEERS-LAND SURVEYORS
 3 Riverchase Ridge, Hoover, AL 35244
 TELEPHONE (205) 320-0114



DETENTION PONDS
 PARKSTONE MEADOWS
 KATIE LANE
 LEEDS ALABAMA
Parkstone Meadows, LLC,
 Sheridan, Wyoming, 82801



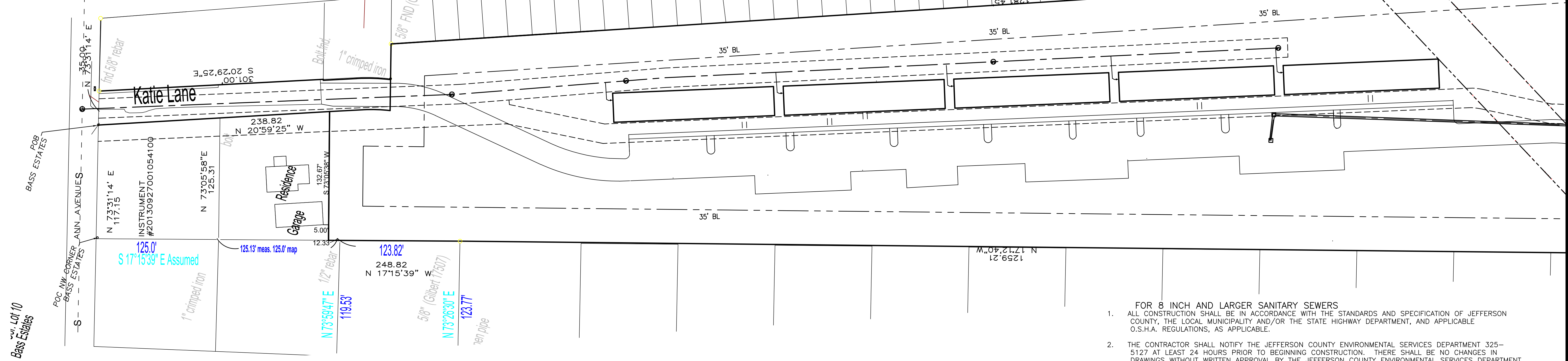
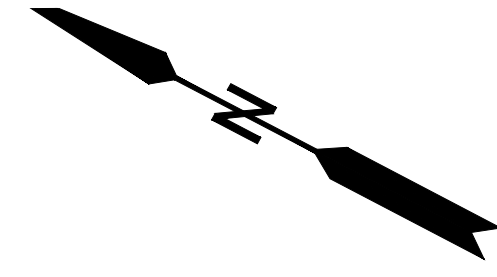
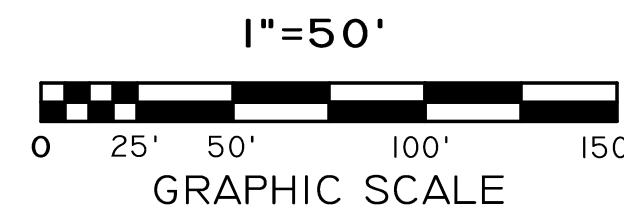
DATE	REVISIONS

JOB NO:
 SUBDIVISIONS:
 FILE NAME: PARKSTONE MEADOWS
 DATE: 03.10.22
 DRAWN: JAM III
 CHECKED: JAM III
 SCALE: 1"=50'
 SHEET

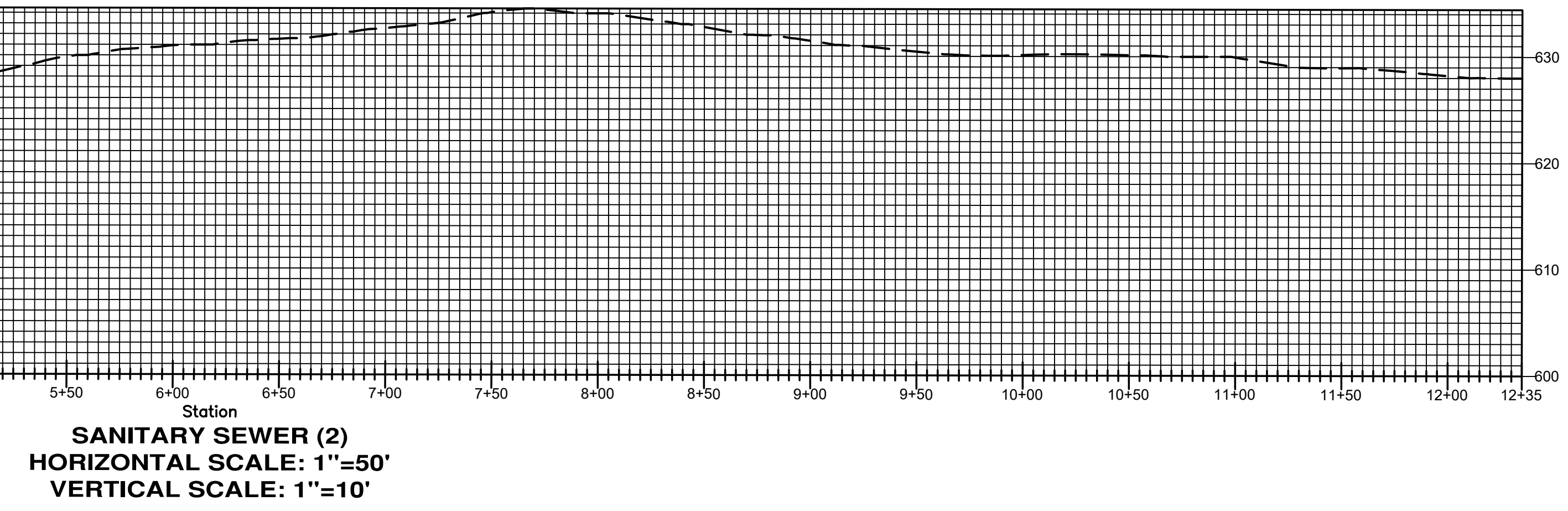
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Owner / Developer:
 Steve French
 Parkstone Meadows, LLC,
 1309 Coffeen Avenue, Suite 1200
 Sheridan, Wyoming, 82801

Engineer:
 Joseph A. Miller, III |
 MTTR ENGINEERS, INC.
 CONSULTING ENGINEERS-LAND SURVEYORS
 2500 Southlake Park, Suite 100
 Hoover, AL 35244

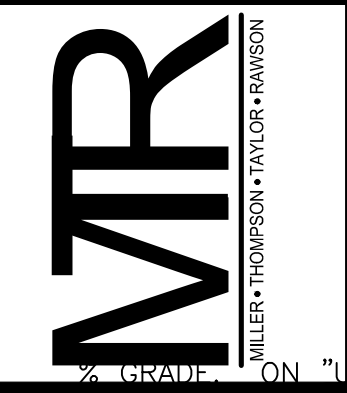


- FOR 8 INCH AND LARGER SANITARY SEWERS**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATION OF JEFFERSON COUNTY, THE LOCAL MUNICIPALITY AND/OR THE STATE HIGHWAY DEPARTMENT, AND APPLICABLE O.S.H.A. REGULATIONS, AS APPLICABLE.
 - THE CONTRACTOR SHALL NOTIFY THE JEFFERSON COUNTY ENVIRONMENTAL SERVICES DEPARTMENT 325-5127 AT LEAST 24 HOURS PRIOR TO BEGINNING CONSTRUCTION. THERE SHALL BE NO CHANGES IN DRAWINGS WITHOUT WRITTEN APPROVAL BY THE JEFFERSON COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.
 - DUCTILE IRON PIPE SHALL BE CLASS 52 OR BETTER.
 - PVC PIPE SHALL BE AWWA C900, CAST IRON (CI) STANDARD DIMENSIONS. DIMENSION RATIO (DR) 18. PRESSURE CLASS (PC) 150 PSI OR BETTER.
 - IN EARTH TRENCH, FOUR INCHES OF CRUSHED STONE SHALL BE PLACED UNDER SEWER LINES OF 12 INCHES IN DIAMETER OR SMALLER AND SIX INCHES OF CRUSHED STONE SHALL BE PLACED UNDER SEWER LINES LARGER THAN 12 INCHES IN DIAMETER IN ROCK TRENCHES. SIX INCHES OF CRUSHED STONE SHALL BE PLACED UNDER ALL SEWERS. THE DITCH SHALL BE BACKFILLED WITH CRUSHED STONE TO A DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE, WHEN CROSSING EXISTING ROADS, STREETS, AND ALL PAVEMENT IN AND OUT OF THE R.O.W., THE TOTAL BACKFILL SHALL BE CRUSED STONE AND PROPERLY CHOKED.
 - AT THE DIRECTION OF THE ESD INSPECTOR, A CONNECTION OF SANITARY SEWER PIPES (8 INCH THROUGH 16 INCH) OF DISSIMILAR SIZES OR FOR REPAIR OF SANITARY SEWER PIPES OF SIMILAR MATERIALS MAY BE MADE BY MEANS OF AN APPROVED MECHANICAL SEAL TYPE ADJUSTABLE COUPLING. COUPLINGS WITH ANY REQUIRED ADAPTING BUSHINGS SHALL BE MANUFACTURED OF AN APPROVED PREFORMED ELASTOMERIC MATERIAL SPECIFICALLY FOR DIMENSIONS OF THE PIPE MATERIALS TO BE CONNECTED. COUPLINGS OF THE MECHANICAL SEAL TYPE SHALL HAVE NUT AND BOLT TIGHTENING CLAMPS OR DEVICES MADE OF 316 STAINLESS STEEL, WITH AN ADJUSTABLE STAINLESS STEEL SHEAR RING, AND STAINLESS STEEL HARDWARE. A CONCRETE COLLAR AS SHOWN ON APPENDIX STANDARD DRAWING SD2060 IS REQUIRED. THE ADJUSTABLE COUPLING SHALL BE INSTALLED AS RECOMMENDED AND SPECIFIED BY THE MANUFACTURER. EACH COUPLING SHALL BEAR THE MANUFACTURER'S NAME AND REQUIRED MARKINGS.
 - MANHOLES SHALL MEET ASTM SPECIFICATION C-478. JOINTS BETWEEN THE MANHOLE SECTIONS SHALL BE OFFSET TONGUE AND GROOVE "PUSH ON" TYPE, SUPPLIED WITH TYLOX SUPER SEAL PRE-LUBRICATED GASKET AS MANUFACTURED BY HAMILTON KENT MEETING THE REQUIREMENTS OF ASTM C443. EACH JOINT SHALL ALSO BE SUPPLIED WITH CONSEAL CS-231 WATERSTOP SEALANT AS MANUFACTURED BY CONCRETE SEALANTS, IN WIDTHS AS RECOMMENDED BY THE MANUFACTURER. MANHOLES SHALL HAVE A MINIMUM DIAMETER OF 48 INCHES AND A MINIMUM THICKNESS OF 5 INCHES. ALL MANHOLE CONES SHALL BE OF THE CONCENTRIC TYPE. MANHOLES MAY BE FINISHED TO STREET GRADE WITH BRICK AND MORTAR. THIS ADJUSTMENT HEIGHT SHALL NOT EXCEED 16 INCHES.
 - STUBOUTS FOR SANITARY SEWER SERVICE LINES SHALL END ON OR NEAR THE PROPERTY LINE UNLESS OTHERWISE NOTED ON "DOWNHILL" SIDE LOTS INSTALL LATERALS ON A MINIMUM 1 LINES TO GRADE THAT WILL TERMINATE A MAXIMUM DEPTH OF 10 FEET. THE FIRST JOINT OUT OF A MANHOLE, FOR BUILDING OR HOUSE SERVICE, SHALL BE DUCTILE IRON PIPE CLASS 52 OR BETTER (MINIMUM 8 FEET). ANY BUILDING SERVICE LINE SET OUTSIDE OF EASEMENT OR R.O.W. MUST BE INSTALLED BY A MASTER PLUMBER AND HAVE A SEWER CONNECTION PERMIT FOR EACH LOT.
 - IF THE CONTRACTOR IS INSTALLING SERVICE LINES AT THE SAME TIME AS MAIN LINE, THE SERVICE LINE SHALL BE INSTALLED IN ACCORDANCE WITH JEFFERSON COUNTY STANDARDS FOR CONSTRUCTION OF SERVICE LINES AND CONNECTIONS, AND INSPECTED/TESTED BY COUNTY INSPECTOR BEFORE IT IS BACKFILLED.
 - ALL SERVICE LINE STUBOUTS INSTALLED IN ROAD ROW OR UNDER ASPHALT SHALL BE PER STANDARD SPECIFICATIONS FOR SANITARY SEWER SERVICE LINES AND CONNECTIONS SECTION 4.
 - CONSTRUCTION SIGNS FOR WORK WITHIN AND ADJACENT TO PUBLIC ROADS, HIGHWAYS, AND ALLEYS SHALL BE IN ACCORDANCE WITH ALDOT STANDARDS.
 - CONTRACTOR WILL BE RESPONSIBLE FOR THE CONTINUOUS AND PROPER OPERATION OF ALL EXISTING UTILITIES LOCATED ON OR ADJACENT TO THE PROJECT SITE AND WITHIN THE CONSTRUCTION LIMITS OF THIS PROJECT.
 - ALL EMBANKMENT FILL AREAS SHALL BE FILLED AND COMPACTED PRIOR TO EXCAVATION OF SEWER LINE TRENCHES.
 - CONTRACTOR WILL BE RESPONSIBLE FOR THE CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS AND FOR ACQUISITION OF ALL PERMITS DURING CONSTRUCTION TO INSURE THAT DAMAGE DOES NOT OCCUR TO ADJACENT PROPERTIES, PUBLIC ROADS AND/OR DITCHES (CREEKS, STREAMS).
 - UPON COMPLETION OF ALL OR ANY PART OF A SANITARY SEWER LINE, THE CONTRACTOR WILL BE REQUIRED TO TEST SAID SEWER FOR ACCEPTABILITY. GRAVITY SEWERS WILL BE PRESSURE TESTED WITH AIR. FORCE MAIN SEWERS WILL BE PRESSURE TESTED WITH WATER. MANHOLES WILL BE VACUUM TESTED. ALL TESTS WILL BE CONDUCTED IN THE PRESENCE OF THE COUNTY SEWER CONSTRUCTION INSPECTOR IN ACCORDANCE WITH SECTION 5.00 STANDARDS FOR COMMERCIAL AND RESIDENTIAL CONSTRUCTION OF SANITARY SEWER SYSTEMS. GRAVITY SANITARY SEWERS WILL BE TELEVISION INSPECTED FOLLOWING AIR TESTING WITH THE FINAL VIDEO TAPE AND LOG FURNISHED TO THE COUNTY FOR RECORD INFORMATION.

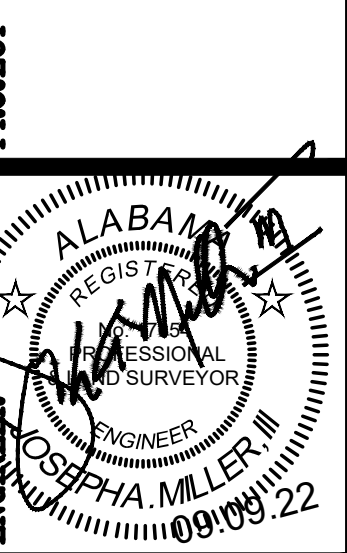


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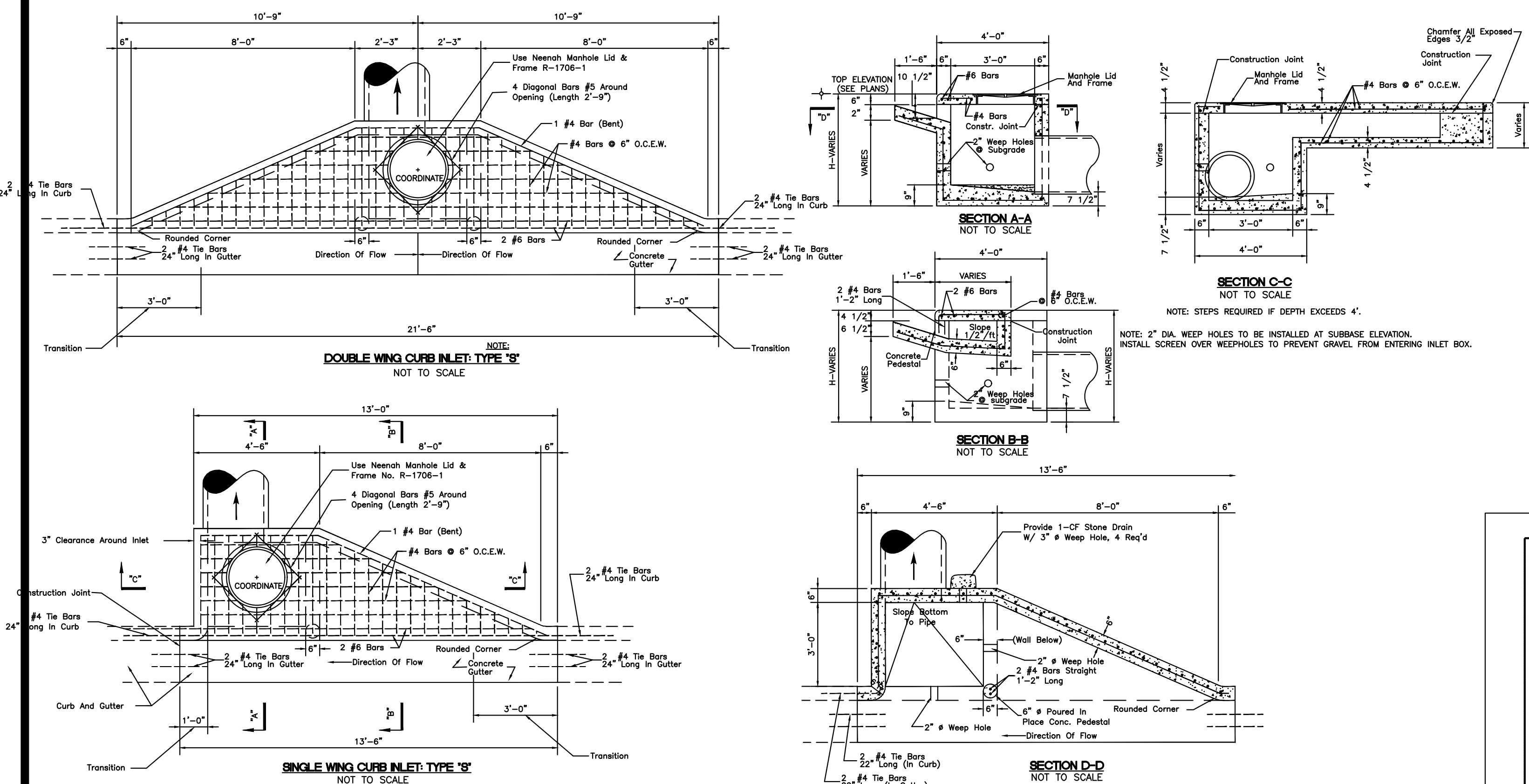


SANITARY SEWER PLAN PROFILE
 PARKSTONE MEADOWS
 KATIE LANE
 LEEDS ALABAMA
Parkstone Meadows, LLC,
 Sheridan, Wyoming, 82801



DATE	REVISIONS

JOB NO:
 SUBDIVISIONS
 FILE NAME: PARKSTONE MEADOWS
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 DRAWN: JAM III
 CHECKED: JAM III
 SCALE: 1"=50'
 SHEET



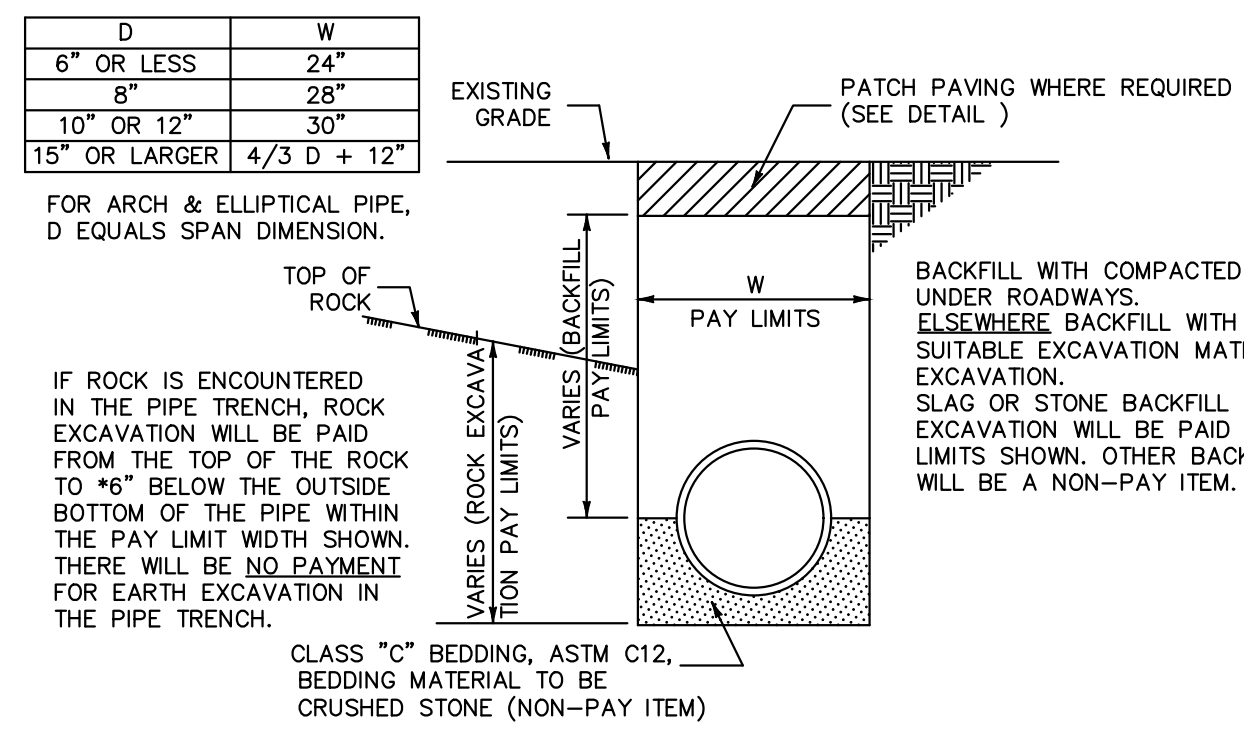
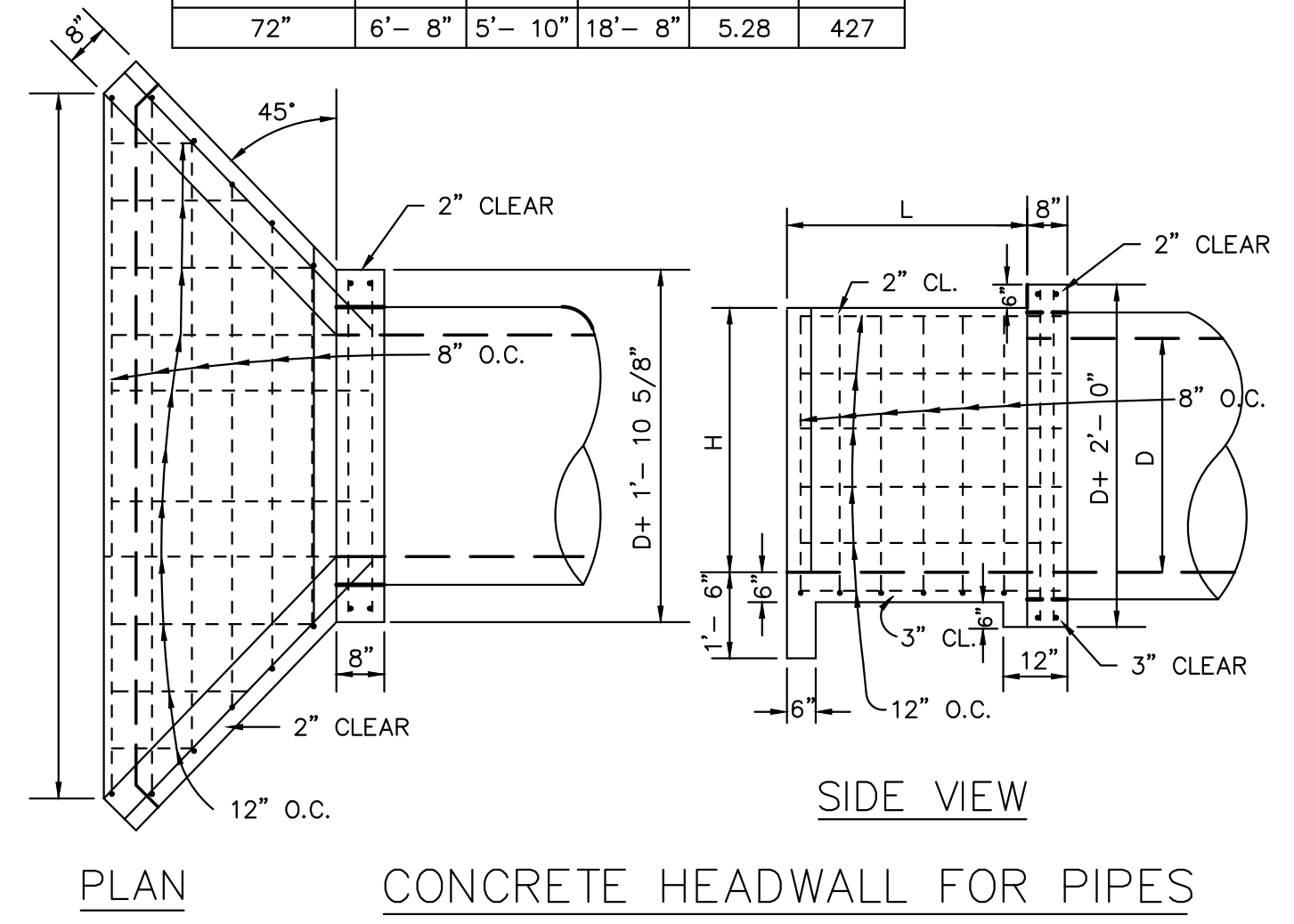
NOTE: THE TYPE "S" INLET MAY BE CONSTRUCTED WITH LEFT OR RIGHT WINGS OR BOTH WHEN LOCATED IN LOW POINT OF DRAINAGE.

"S" INLET DETAIL

N.T.S.

PIPE DIAMETER	DIMENSION				QUANTITY	
	D	H*	L	W	CONC. (C.Y.)	STEEL (LBS.)
18"	2'-0"	2'-4"	6'-2"	.91	66	
24"	2'-6"	2'-4"	6'-8"	1.06	78	
30"	3'-0"	2'-4"	7'-2"	1.21	85	
36"	3'-6"	2'-10"	8'-8"	1.59	115	
42"	4'-0"	3'-4"	10'-2"	2.02	140	
48"	4'-6"	3'-10"	11'-8"	2.51	175	
54"	5'-0"	4'-4"	13'-2"	3.05	210	
60"	5'-0"	4'-10"	15'-8"	3.69	255	
66"	6'-0"	5'-4"	16'-2"	4.34	304	
72"	6'-8"	5'-10"	18'-8"	5.28	427	

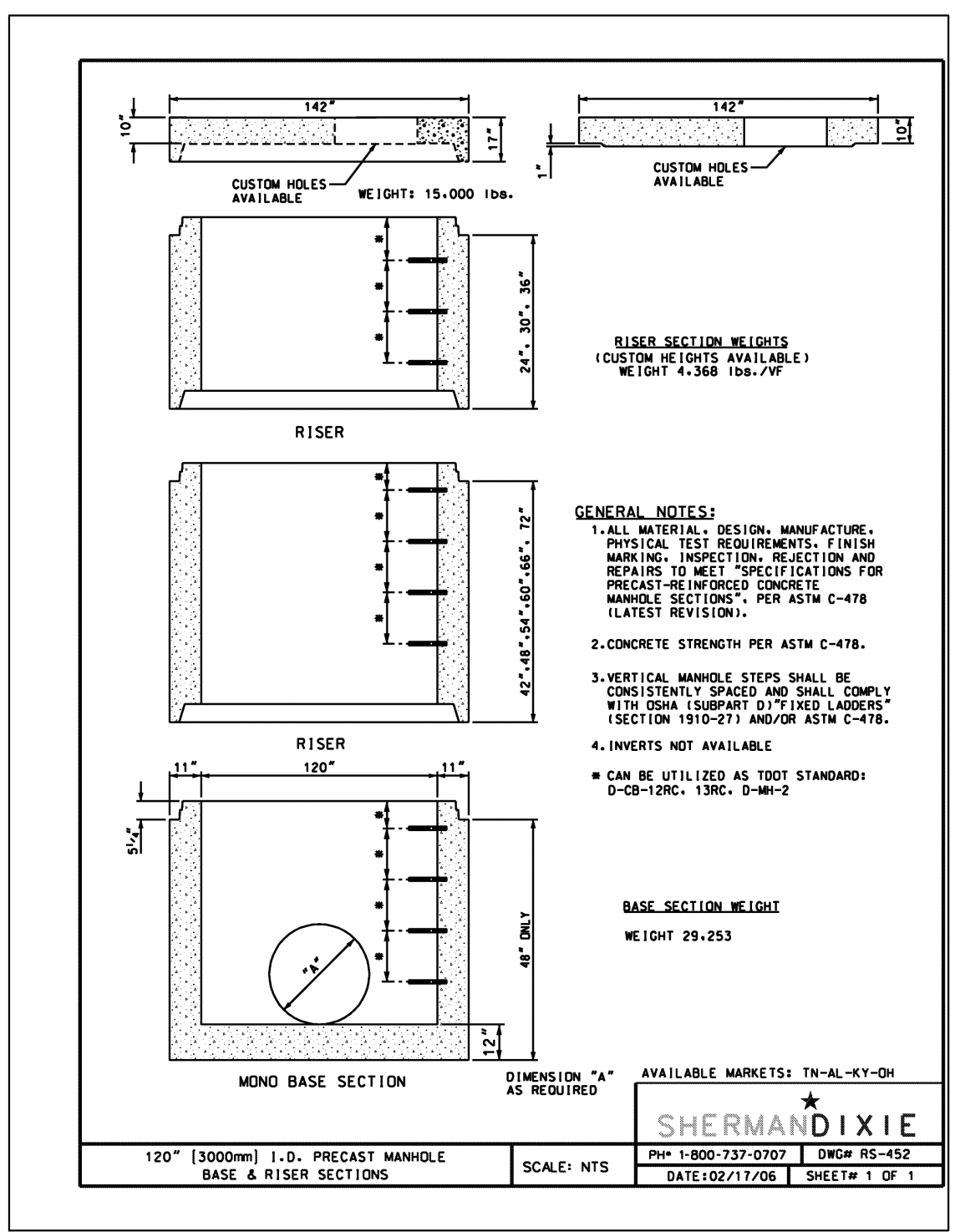
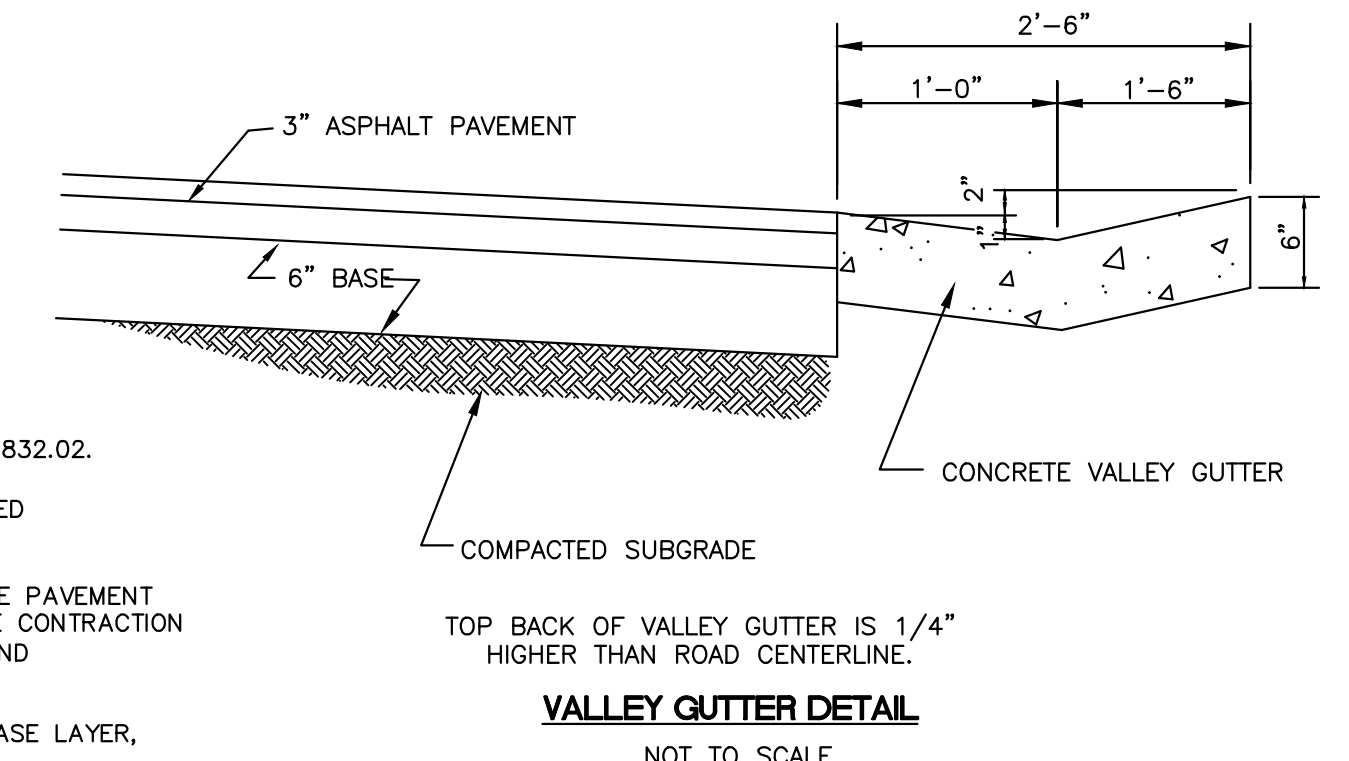
VERTICAL REINFORCING BARS ARE #5'S FOR 72" PIPE HEADWALL REINFORCING BARS ARE #4'S.



ROCK EXCAVATION + BACKFILL

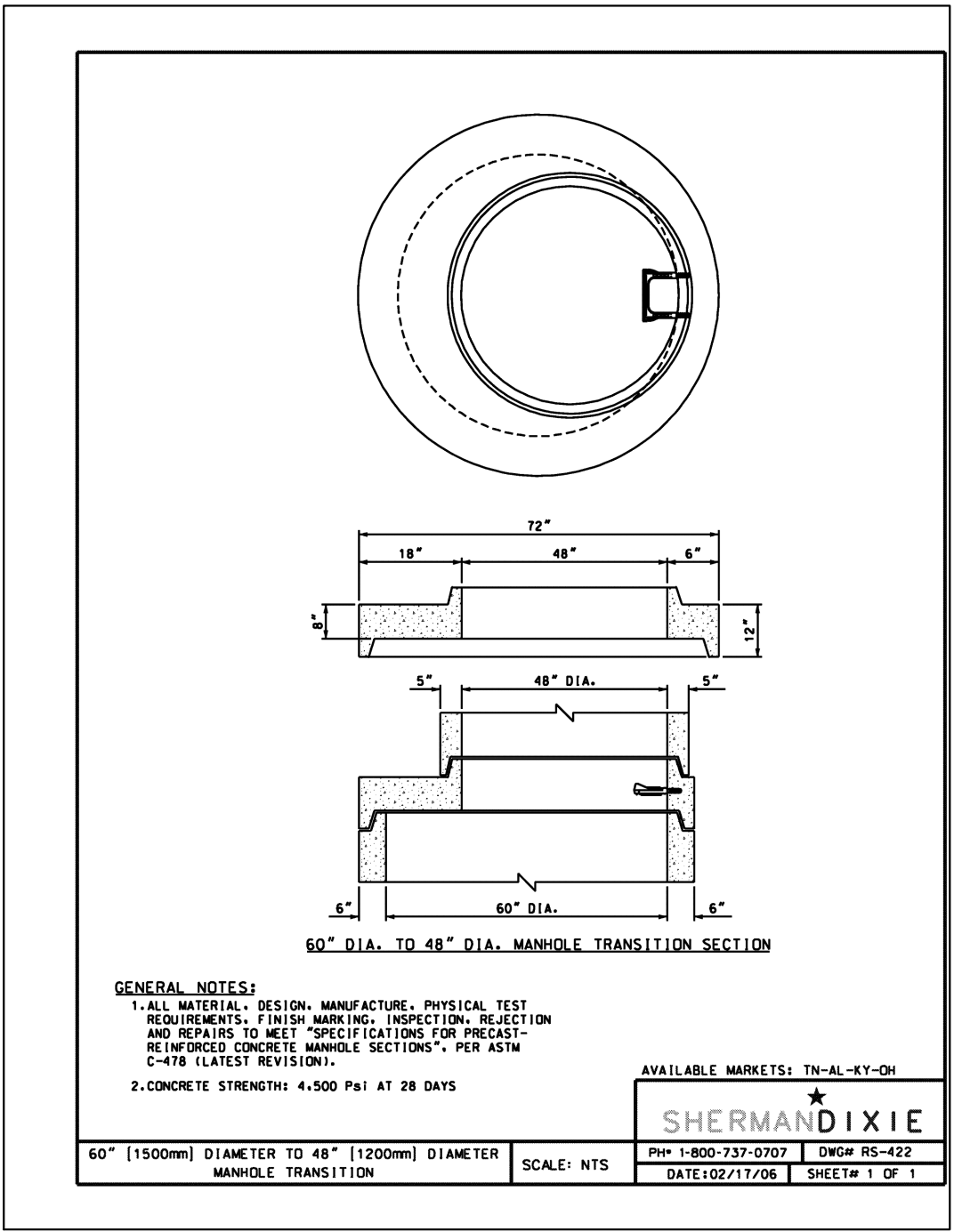
GENERAL NOTES FOR CONCRETE VALLEY GUTTER

- EXPANSION JOINTS SHALL BE PLACED IN CURB AND/OR GUTTER TO MATCH THOSE IN CONCRETE PAVEMENT WHERE THE TWO ARE ADJACENT.
- EXPANSION JOINTS 3/4 INCH WIDE SHALL BE PLACED WHERE CURB AND/OR GUTTER TERMINATES AGAINST RIGID OBJECTS.
- EXPANSION JOINT FILLER AND SEALER SHALL MEET THE REQUIREMENTS OF ARTICLES 832.01 AND 832.02. EXPANSION JOINT FILLER SHALL EXTEND FROM THE BOTTOM OF THE CURB AND/OR GUTTER TO WITHIN ONE INCH OF THE TOP. THE SEALER SHALL BE 3/4 INCH THICK AND SHALL BE RECESSED 1/4 INCH FROM THE TOP.
- CONTRACTION JOINTS SHALL BE PLACED IN CURB AND/OR GUTTER TO MATCH THOSE IN CONCRETE PAVEMENT WHERE THE TWO ARE ADJACENT, BUT IN NO INSTANCE MORE THAN 20 FEET BETWEEN JOINTS. THE CONTRACTION JOINTS SHALL BE SAWS OR OTHERWISE CUT 2 INCHES DEEP BY 1/8 INCH WIDE AND SHALL EXTEND 2 INCHES BELOW THE PAVEMENT SURFACE.
- CONTRACTOR MAY BE PERMITTED TO EXCEED MIN. CURB HEIGHT IN ORDER TO PLACE CURB ON BASE LAYER, IF HE SO DESIRES.

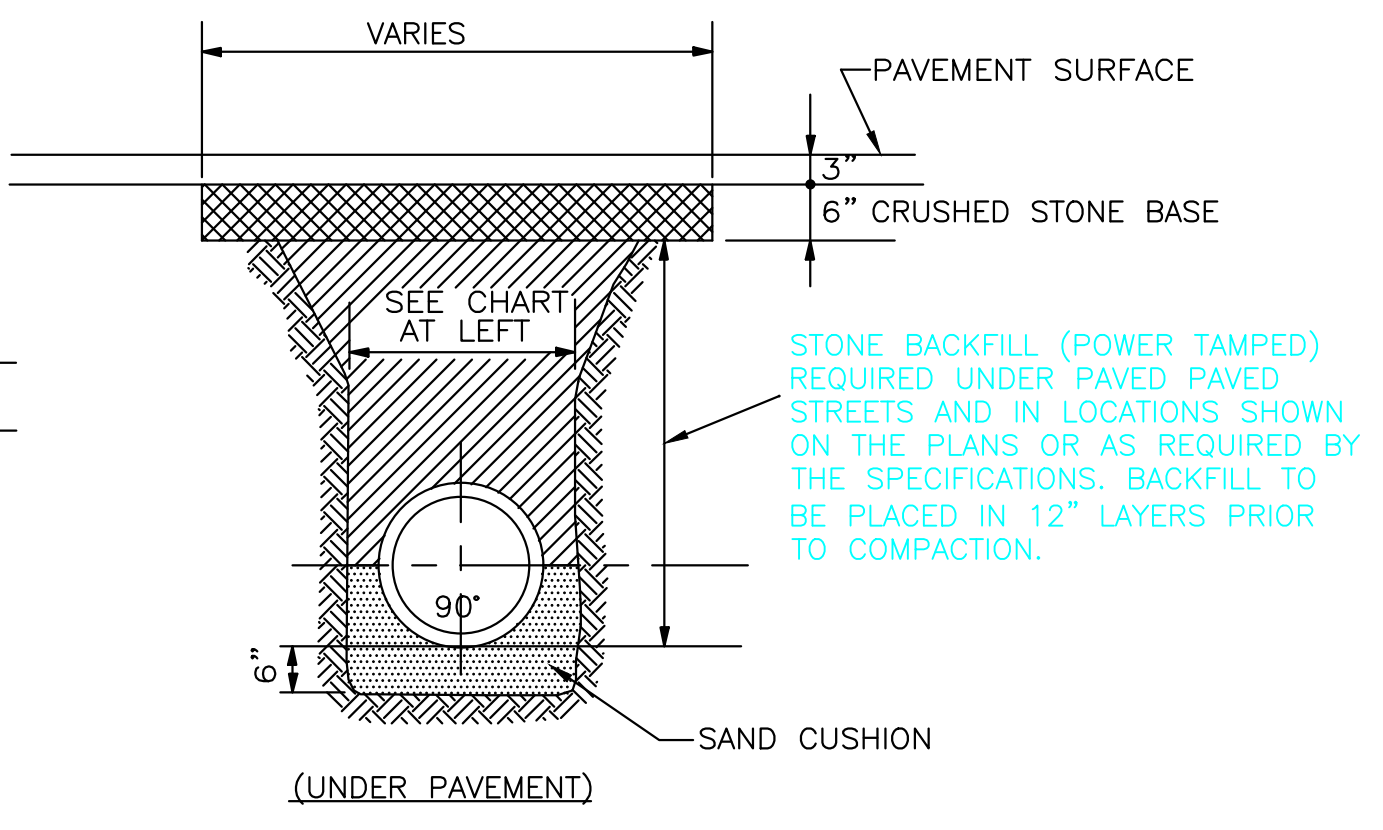
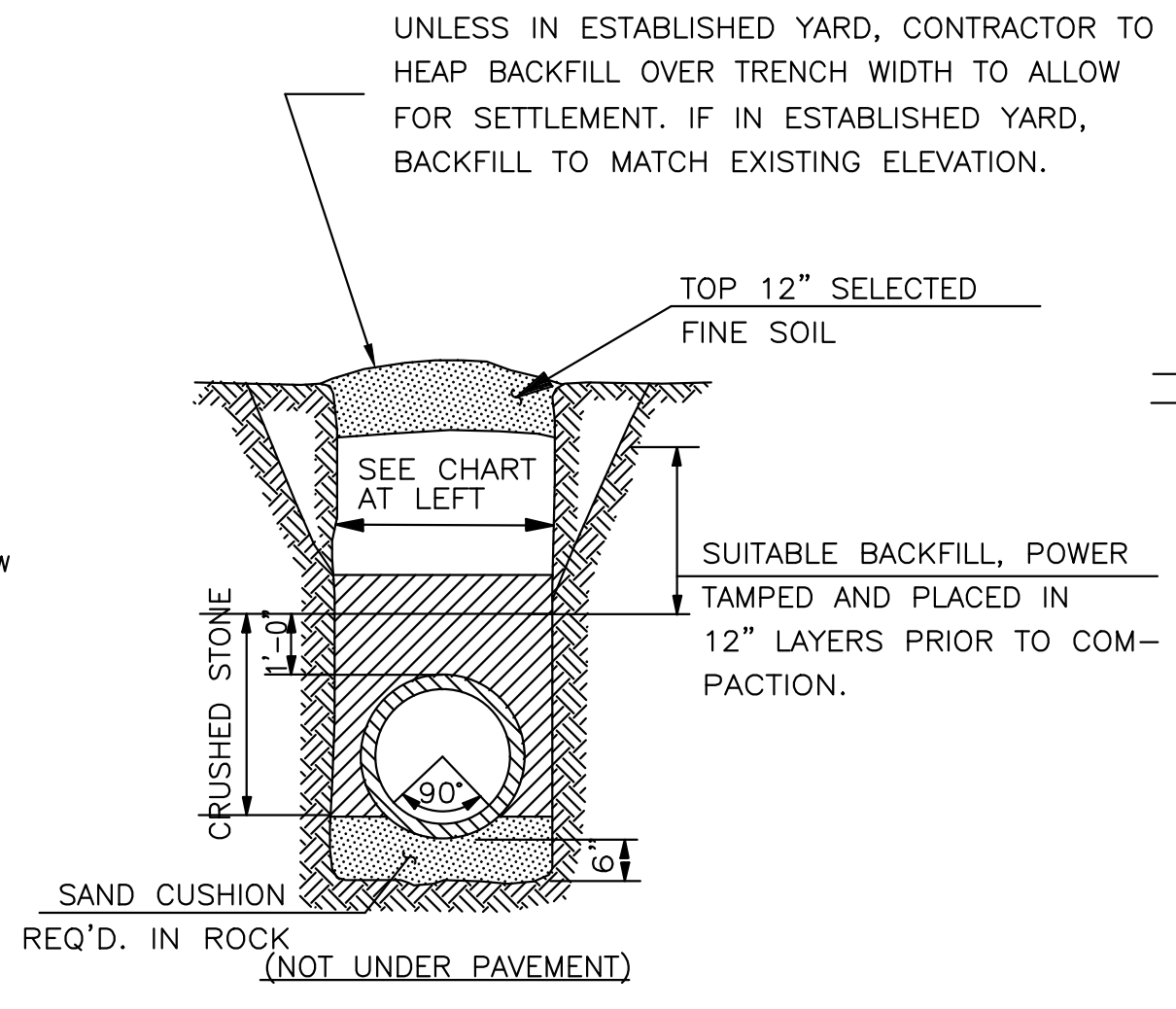


STORM MANHOLE

N.T.S.
USE SHERMAN DIXIE OR APPROVED EQUAL.

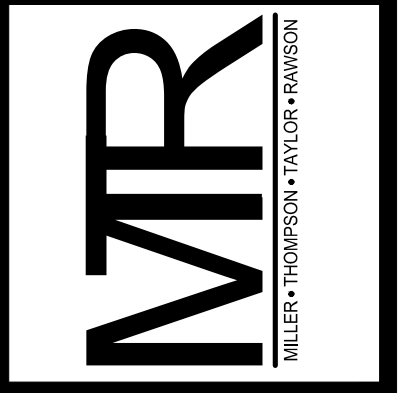


NOTE:
PRE CAST REINFORCED CONCRETE MANHOLES COMPLYING WITH ASTM SPEC. C-478-64T MUST BE USED. RISER SECTIONS OF PRECAST MANHOLES SHALL HAVE AN INSIDE DIAMETER OF 48".

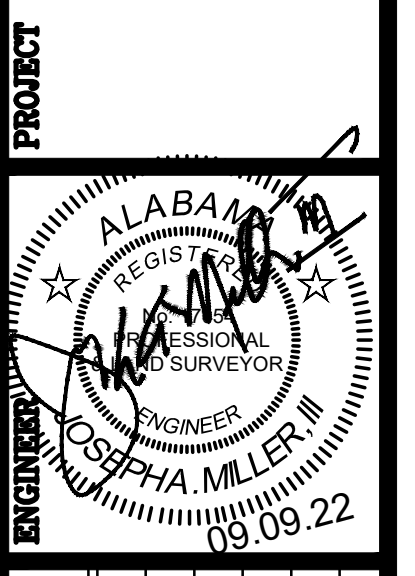


STONE BACKFILL (POWER TAMPED) REQUIRED UNDER PAVED STREETS AND IN LOCATIONS SHOWN ON THE PLANS OR AS REQUIRED BY THE SPECIFICATIONS. BACKFILL TO BE PLACED IN 12" LAYERS PRIOR TO COMPACTION.

MTTR ENGINEERS, INC.
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TELEPHONE (205) 320-0114



DETAILS
PARKSTONE MEADOWS
KATIE LANE
LEEDS ALABAMA
Parkstone Meadows, LLC,
Sheridan, Wyoming, 82801



DATE	REVISIONS

JOB NO: SUBDIVISIONS
FILE NAME: PARKSTONE MEADOWS
DATE: 03.10.22
DRAWN: JAM III
CHECKED: JAM III
SCALE: 1"=50'
SHEET 08

Owner / Developer:
 Steve French
 Parkstone Meadows, LLC,
 1309 Coffeen Avenue, Suite 1200
 Sheridan, Wyoming, 82801

Engineer:
 Joseph A. Miller, III
 MTTR ENGINEERS, INC.
 CONSULTING ENGINEERS-LAND SURVEYORS
 2500 Southlake Park, Suite 100
 Hoover, AL 35244



- B. There are no wooded areas, wetlands, unstable soils or slopes and any other adverse conditions affecting the site.
- C. Site Assessment:
- (a) geologic formations - None
 - (b) soils classifications - See Index at right
 - (c) colluvium - None
 - (d) bluffs - None
 - (e) sinkholes - None
 - (f) caves - None
 - (g) landslides (active and inactive) - None
 - (h) lineaments - None
 - (A) springs - None
 - (i) seeps - None
 - (j) streams (perennial, intermittent, wet weather) - None
 - (k) wetlands - None
 - (m) Groundwater recharge points - None
 - (n) vegetative communities, including the five most abundant tree and floral species for each community, in order of abundance and including the approximate age of each community. See table at right
 - (o) endangered and threatened species as determined by the US Fish and Wildlife Service - None
 - (p) evidence of recent or ancient quarry operations - None
 - (q) spoils areas - None
 - (r) dump sites (active, inactive, or covered/reclaimed) - None
 - (s) existing fills and excavations - None
- D. There are wetlands, unstable soils or slopes and any other adverse condition affecting the site.
- E. Site Assessment:
- (a) geologic formations - None
 - (b) soils classifications - See Index
 - (c) colluvium - None
 - (d) bluffs - None
 - (e) sinkholes - None
 - (f) caves - None
 - (g) landslides (active and inactive) - None
 - (h) lineaments - None
 - (i) springs - None
 - (j) seeps - None
 - (k) streams (perennial, intermittent, wet weather) - None
 - (l) wetlands - None
 - (m) Groundwater recharge points - None
 - (n) vegetative communities, including the five most abundant tree and floral species for each community, in order of abundance and including the approximate age of each community. See table at right
 - (o) endangered and threatened species as determined by the US Fish and Wildlife Service - None
 - (p) evidence of recent or ancient quarry operations - None
 - (q) spoils areas - None
 - (r) dump sites (active, inactive, or covered/reclaimed) - None
 - (s) existing fills and excavations - the streets and detention pond were graded in 2003.
 - (t) existing drainage retention and detention areas - See Sheet # 9
 - (u) wells, whether active or inactive, open or closed storage tanks, regardless of contents, both above ground and underground - None

- F. Site assessment map
- (a) Joseph A. Miller, III, PE/LS 17054, Observed during site walk through for items a-u
 - (b) Soils types by graphic plotting from Soils Conservation Service Map: Bodine-Fullerton association, steep
- No other findings
- (d) There are no adverse effects from items a-u.
 - (e) There are no adverse effects from items a-u.
 - (f) 20' Required front and 30' rear

G. Site Information:

Site acreage = 18.73 Acres
 60 Apartment Units
 126 Parking Spaces

9 The entire site soils type:
 Fullerton-Bodine complex, 8 to 12 percent slopes

Vegetative communities

Trees

1. Pine trees over 6" in diameter = 155, age 15 years
2. Clusters of mimosa trees over 6" in diameter = 43, age 15 years
3. Oak trees over 6", larger ones 15-24" in diameter = 10, age 150 years
4. Oak trees 6"-12" in diameter = 25, age 50 years
5. Sweetgum Trees 6" in diameter = 20, age 15 years
6. Elm Trees, 6" in diameter = 8, age 15 years

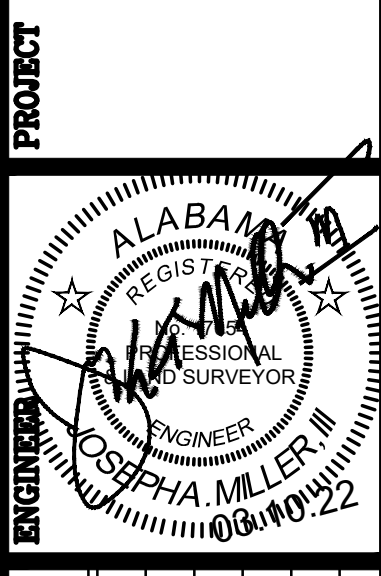
Flowers:
 No flowers were observed.

Note:
 1. No part of this subdivisions subtending land falls within 200 ft. of any Gas Transmission Pipeline or Fiber optic trunk line.

MTTR ENGINEERS, INC.
 CONSULTING ENGINEERS-LAND SURVEYORS
 2500 SOUTHLAKE PARK, SUITE 100, HOOVER, AL 35244
 TELEPHONE (205) 320-0114



SITE ASSESSMENT MAP
PARKSTONE MEADOWS
 KATIE LANE
 LEEDS ALABAMA
Parkstone Meadows, LLC,
 Sheridan, Wyoming, 82801



DATE	REVISIONS

JOB NO:	SUBDIVISIONS
FILE NAME:	PARKSTONE MEADOWS
DATE:	03.10.22
DRAWN:	JAM III
CHECKED:	JAM III
SCALE:	1"=60'
SHEET	09

ADEM NPDES GENERAL PERMIT NOTES: (THESE NOTES ARE NOT ALL INCLUSIVE OF THE ADEM NPDES GENERAL PERMIT REQUIREMENTS. IT SHALL BE THE PERMITTEE'S RESPONSIBILITY TO ASSURE COMPLIANCE WITH ALL STORMWATER GENERAL PERMIT REQUIREMENTS)

PART I (Part I) Coverage Under This General Permit

A. Permit Coverage
This permit authorizes, subject to the conditions of this permit, discharges associated with construction activity that will result in the discharge of stormwater to navigable waters in excess of the following limits: (1) one (1) acre or more of land (2) one (1) acre and which are part of a common plan of development or sale equal to or greater than one (1) acre occurring on or before, and continuing after the effective date of this permit, except for discharges identified under Part I.C. of this permit. Coverage under this permit is not required for discharges associated with minor land disturbing activities such as home gardens or individual home landscaping, repairs, maintenance work, fences and other related activities which result in minor soil erosion, animal feeding operation (AFO) or concentrated animal feeding operation (CAFO) construction activity that has been granted NPDES registration coverage pursuant to Chapter 335-6-7, normal agricultural practices and silvicultural operations as defined in Part V.

B. Eligibility
1. Allowable Stormwater Discharges
This permit authorizes the following stormwater discharges:
(a) Stormwater associated with construction activities defined in Part I.A. of this permit;
(b) The following stormwater discharges have been determined by the Director to require coverage under this permit:
(i) Sites, irrespective of size, whose stormwater discharges have a reasonable potential to be a significant contributor of pollutants to a water of the state, as determined by the Department;
(ii) Sites, irrespective of size, whose stormwater discharges have a reasonable potential to cause or contribute to a violation of an applicable Alabama water quality standard as determined by the Department.
(c) Discharges from support activities (e.g., equipment staging yards, material storage areas, excavated material disposal areas, borrow areas) provided:
(i) The support activity is solely related to the construction site covered under this permit;
(ii) The support activity is not a commercial operation serving multiple unrelated construction projects by different operators, and does not operate beyond the completion of the construction activity at the last construction project it supports; and
(iii) Pollutant discharges from support activity areas are minimized to the maximum extent practicable and do not pose a reasonable potential to exceed applicable water quality standards.

2. Allowable Non-Stormwater Discharges
This permit authorizes the following non-stormwater discharges provided the non-stormwater component of the discharge is in compliance with applicable water quality standards:
(a) Discharges from fire-fighting activities;
(b) Fire hydrant flushings;
(c) Water used to wash vehicles where detergents are not used;
(d) Water used to control dust;
(e) Potable water including uncontaminated water line flushings not associated with hydrostatic testing;
(f) Routine external building wash associated with construction that does not use detergents;
(g) Pavement wash waters where spills or leaks of toxic or hazardous materials have not occurred (unless all spilled material has been removed) and where detergents are not used. The operator is prohibited from directing pavement wash waters directly into any surface water, storm drain inlet, or stormwater conveyance, unless the conveyance is connected to a sediment basin, sediment control, or similarly effective control;
(h) Uncontaminated air conditioning or compressor condensate associated with temporary office trailers and other similar buildings;
(i) Uncontaminated ground water or spring water;
(j) Foundation or footing drains where flows are not contaminated with process materials such as solvents;
(k) Landscape irrigation;

C. Prohibited Discharges
The following discharges associated with construction are not authorized by this permit:
(a) Stormwater discharges that are mixed with sources of non-stormwater unless such stormwater discharges are:
(i) In compliance with a separate NPDES permit, or
(ii) Determined by the Department not to be a contributor of pollutants to waters of the State.
(b) Stormwater discharges currently covered under another NPDES permit;
(c) Wastewater from washout of concrete, unless managed by a separate construction control. (Wastewater from Concrete batch plants are prohibited unless the discharges are authorized by and in compliance with a separate NPDES permit);
(d) Wastewater from washout and cleanout of stucco, paint, form release oils, curing compounds and other construction materials;
(e) Fuels, oils, or other pollutants used in vehicle and equipment operation and maintenance;
(f) Soaps or solvents used in vehicle and equipment washing;
(g) Discharges from dewatering activities, including discharges of ground water or accumulated stormwater from dewatering of trenches, excavations, foundations, vaults, or other similar points of accumulation, unless managed by appropriate controls;
(h) OMI;
(i) Discharges where the turbidity of such discharge will cause or contribute to a substantial visible contrast with the natural appearance of the receiving water;
(j) Discharges where the turbidity of such discharge will cause or contribute to an increase in the turbidity of the receiving water by more than 50 NTUs above background. For the purposes of determining compliance with this limitation, background turbidity shall be interpreted as the natural condition of the receiving water in the absence of man-made or man-induced causes. Turbidity levels caused by natural runoff will be included in establishing background levels;

D. Submittal of Documents
The Permittee must complete and submit the NOI electronically, using the Department's eNOI system, unless the Permittee submits in writing valid justification as to why the electronic submittal process cannot be utilized and the Department approves in writing the utilization of a hard copy submittal. The eNOI must be accessed at the following link <https://app.adem-alabama.gov/eNOI/Default.aspx>. Permit requests for initial issuance and modifications of the existing permit should all be submitted through the eNOI system. All other documents required to be submitted to the Department by this general permit shall be delivered to the following address:
Alabama Department of Environmental Management
Water Division
Stormwater Management Branch
Post Office Box 301463 (Zip Code: 36130-1463)
1400 Coliseum Boulevard (Zip Code: 36103-1009)
Montgomery, Alabama

PART II Stormwater Pollution Prevention Requirements
B. Provide Natural Riparian Buffers or Equivalent Sediment Controls
Natural riparian buffer requirements apply to all waters of the state adjacent to construction sites or contained within their overall project boundary. A 25-foot natural riparian buffer zone adjacent to all waters of the state at the construction site shall be preserved, to the maximum extent practicable, during construction activities at the site. The natural riparian buffer should be preserved between the top of stream bank and the disturbed construction area. The water quality buffer zone aids in the protection of waters of the state (e.g., perennial and intermittent streams, rivers, lakes, wetlands) located within or immediately adjacent to the boundaries of the project. Natural riparian buffers ARE NOT PRIMARY SEDIMENT CONTROL MEASURES AND SHOULD NOT BE RELIED ON AS SUCH. THE NATURAL RIPARIAN BUFFER REQUIREMENT ONLY APPLIES TO NEW CONSTRUCTION SITES.

1. COMPLIANCE ALTERNATIVES
(a) PROVIDE AND MAINTAIN A 25-FOOT UNDISTURBED NATURAL RIPARIAN BUFFER, OR
(i) IF LAND DISTURBANCES ARE LOCATED 25 FEET OR FURTHER FROM SURFACE WATER, THEN COMPLIANCE WITH THIS ALTERNATIVE HAS BEEN ACHIEVED.
(ii) REHABILITATION AND ENHANCEMENT OF A NATURAL RIPARIAN BUFFER IS ALLOWED, IF NECESSARY, FOR IMPROVEMENT OF ITS EFFECTIVENESS OF PROTECTION OF THE WATERS OF THE STATE.
(iii) ANY PREEXISTING STRUCTURES (E.G., BUILDINGS, PARKING LOTS, ROADWAYS, UTILITY LINES, STRUCTURES, IMPERVIOUS SURFACES) ARE ALLOWED IN THE NATURAL RIPARIAN BUFFER, PROVIDED THE PERMITTEE TAKES AND PROTECTS FROM DISTURBANCE ANY ADDITIONAL NATURAL RIPARIAN BUFFER AREA CONTAINED WITHIN THE NATURAL RIPARIAN BUFFER BUT OUTSIDE THE PREEXISTING STRUCTURES FOOTPRINT.
(b) PROVIDE AND MAINTAIN AN UNDISTURBED NATURAL RIPARIAN BUFFER THAT IS LESS THAN 25 FEET AND IS SUPPLEMENTED BY ADDITIONAL EROSION AND SEDIMENT CONTROLS, WHICH IN COMBINATION ACHIEVES THE SEDIMENT LOAD REDUCTION EQUIVALENT TO A 25-FOOT UNDISTURBED NATURAL RIPARIAN BUFFER; OR
(c) IF IT IS NECESSARY TO PROVIDE AND MAINTAIN AN UNDISTURBED NATURAL RIPARIAN BUFFER OF ANY SIZE, THE PERMITTEE MUST IMPLEMENT EROSION AND SEDIMENT CONTROLS THAT ACHIEVE THE SEDIMENT LOAD REDUCTION EQUIVALENT TO A 25-FOOT UNDISTURBED NATURAL RIPARIAN BUFFER.
(d) ALL DISCHARGES FROM THE AREA OF EARTH DISTURBANCE TO THE NATURAL RIPARIAN BUFFER MUST FIRST BE TREATED BY THE SITE'S EROSION AND SEDIMENT CONTROLS, AND USE VEGETATIVE OR OTHER DEVICES IF NECESSARY TO PREVENT EROSION CAUSED BY STORMWATER WITHIN THE NATURAL RIPARIAN BUFFER.
(e) ALL COMPLIANCE ALTERNATIVES MUST BE DOCUMENTED IN THE CEMP AND COMPLY WITH ALL REQUIREMENTS. THE NATURAL RIPARIAN BUFFER BOUNDARY SHOULD BE INDICATED ON THE SITE PLAN.
(f) COMPLIANCE ALTERNATIVES MUST BE MAINTAINED THROUGHOUT THE DURATION OF PERMIT COVERAGE.
(g) ALL NATURAL RIPARIAN BUFFER AREAS SHOULD BE DELINEATED, AND CLEARLY MARKED OFF WITH FLAGS, TAPE, OR SIGNAGE PARKING LOTS.
2. CONSTRUCTION ACTIVITIES AT SITES THAT HAVE BEEN PERMITTED PRIOR TO APRIL 1, 2016, ARE EXEMPT FROM THE REQUIREMENTS OF THIS PART II.B. CONFIRMATION OF PERMIT COVERAGE PRIOR TO APRIL 1, 2016, MUST BE SUBMITTED WITH THE NOI.
3. IF THERE IS NO DISCHARGE OF STORMWATER TO WATERS OF THE STATE THROUGH THE AREAS BETWEEN THE CONSTRUCTION SITE AND ANY WATERS OF THE STATE LOCATED WITHIN 25 FEET OF THE CONSTRUCTION SITE, COMPLIANCE WITH THIS REQUIREMENT IS ACHIEVED.
4. WHERE NO NATURAL RIPARIAN BUFFER EXISTS DUE TO PREEXISTING DEVELOPMENT DISTURBANCES (E.G., BUILDINGS, PARKING LOTS, ROADWAYS, UTILITY LINES, STRUCTURES, IMPERVIOUS SURFACES) THAT OCCURRED PRIOR TO THE INITIATION OF PLANNING FOR THE CURRENT DEVELOPMENT OF THE SITE, COMPLIANCE IS NOT REQUIRED TO COMPLY WITH THE REQUIREMENTS IN THIS SECTION, UNLESS PORTIONS OF THE PREEXISTING DEVELOPMENT WILL BE REMOVED.

(i) EFFECTIVE EROSION CONTROLS AND SEDIMENT CONTROLS HAVE BEEN FULLY IMPLEMENTED AND MAINTAINED IN ACCORDANCE WITH THIS PERMIT, THE SITE CEMP, AND THE ALABAMA HANDBOOK;
(ii) POLLUTANT DISCHARGES ARE BEING PREVENTED/MINIMIZED AND
(iii) DISCHARGES DO RESULT IN A CONTRAVENTION OF APPLICABLE STATE WATER QUALITY STANDARDS FOR THE RECEIVING STREAM(S) OR OTHER WATERS IMPACTED OR AFFECTED BY THE PERMITTEE.
(c) SITE INSPECTIONS SHALL BE PERFORMED BY A QCP, QCP, OR A QUALIFIED PERSON UNDER THE DIRECT SUPERVISION OF A QCP.
(d) FOR NON-LINEAR PROJECTS, A SITE INSPECTION SHALL BE PERFORMED EACH MONTH AND AFTER ANY QUALIFYING PRECIPITATION EVENT, COMMENCING AS PROMPTLY AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER RESUMING OR CONTINUING ACTIVE CONSTRUCTION OR DISTURBANCE, AND COMPLETED NO LATER THAN 72 HOURS AFTER THE QUALIFYING PRECIPITATION EVENT.
(e) FOR LINEAR PROJECTS WHERE ACTIVE CONSTRUCTION OR AREAS WHERE PERENNIAL VEGETATION HAS NOT BEEN FULLY ESTABLISHED, MEETING THE DEFINITION OF FINAL STABILIZATION, A SITE INSPECTION SHALL BE PERFORMED AT LEAST ONCE A MONTH AND AFTER ANY QUALIFYING PRECIPITATION EVENT SINCE THE LAST INSPECTION, BEGINNING AS PROMPTLY AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER RESUMING OR CONTINUING ACTIVE CONSTRUCTION OR DISTURBANCE AND COMPLETED NO LATER THAN 72 HOURS AFTER THE QUALIFYING PRECIPITATION EVENT.
(e) A SITE INSPECTION SHALL ALSO BE PERFORMED AS OFTEN AS NECESSARY UNTIL ANY POORLY FUNCTIONING EROSION CONTROLS OR SEDIMENT CONTROLS, NON-COMPLIANT DISCHARGES, OR ANY OTHER DEFICIENCIES OBSERVED DURING A PRIOR INSPECTION ARE CORRECTED AND DOCUMENTED AS BEING IN COMPLIANCE WITH THE REQUIREMENTS OF THIS PERMIT.
(i) ON ALL ACTIVE DISTURBANCE, DREDGING, EXCAVATION, OR CONSTRUCTION UNDERTAKEN OR LOCATED WITHIN THE BANKS OF A WATERBODY, INCLUDING BUT NOT LIMITED TO, EQUIPMENT CROSSINGS, PIPELINES, OR OTHER TRANSMISSION LINE INSTALLATION, CONVEYOR STRUCTURE INSTALLATION, AND WATERBODY RELOCATION, STREAMBANK STABILIZATION, OR OTHER ALTERATIONS, A SITE INSPECTION SHALL BE PERFORMED AT LEAST ONCE A WEEK AND AS OFTEN AS NECESSARY UNTIL THE DISTURBANCE/ACTIVITY IMPACTING THE WATERBODY IS COMPLETE AND RECLAMATION OR EFFECTIVE STORMWATER QUALITY REMEDIATION IS ACHIEVED.
(ii) THE INSPECTION SHALL BE DISCLOSED IN A WRITTEN FORMAT ACCEPTABLE TO THE DEPARTMENT. THE INSPECTION RECORD SHALL INCLUDE:
(i) THE SITE NAME AND LOCATION, PROJECT NAME, DATE, TIME AND EXACT PLACE OF ANY SAMPLING PERFORMED;
(ii) THE NAME(S) OF PERSON(S) WHO PERFORMED THE INSPECTION AND/OR OBTAINED ANY SAMPLES OR MEASUREMENTS TAKEN;
(iii) THE DATES AND TIMES OF THE INSPECTION AND ANY SAMPLES OR MEASUREMENTS TAKEN;
(iv) A DESCRIPTION OF ANY SAMPLING AND ANALYTICAL TECHNIQUES OR METHODS USED, INCLUDING SOURCE OF METHOD AND METHOD NUMBER;
(v) THE RESULTS OF ANY ANALYSES PERFORMED;
(vi) WEATHER CONDITIONS AT THE TIME OF THE INSPECTION;
(vii)DESCRIPTION OF ANY DISCHARGES OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE;
(viii) LOCATIONS OF DISCHARGES OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE;
(ix) LOCATIONS OF BMPs THAT NEED TO BE MAINTAINED;
(x) LOCATIONS OF BMPs THAT FAILED TO OPERATE AS DESIGNED;
(xi) LOCATIONS WHERE BMPs REQUIRED BY THE CEMPp ARE NOT INSTALLED OR INSTALLED IN A MANNER INCONSISTENT WITH THE CEMPp; AND
(xii)LOCATIONS WHERE ADDITIONAL BMPs ARE NEEDED THAT DID NOT EXIST AT THE TIME OF THE INSPECTION. THIS REQUIREMENT IS APPLICABLE ONLY TO SITE INSPECTIONS PERFORMED BY A QCP OR QUALIFIED PERSONS UNDER THE DIRECT SUPERVISION OF A QCP.
(b) RESULTS OF ALL REQUIRED INSPECTIONS SHALL BE AVAILABLE FOR INSPECTION NO LATER THAN 15 DAYS FOLLOWING THE DATE OF THE INSPECTIONS, MONITORING OR SAMPLING.
(c) REPORTS SHALL BE LEGIBLE AND BEAR AN ORIGINAL SIGNATURE OR IN THE CASE OF ELECTRONIC REPORTS, AN ELECTRONIC SIGNATURE.
4. **CMP EVALUATIONS**
(a) **QCP SHALL PERFORM AN ONSITE EVALUATION OF ALL EROSION AND SEDIMENT CONTROLS BEING IMPLEMENTED FOR ADEQUACY AND CONSISTENCY WITH SITE CONDITIONS.**
(b) THE CEMPp EVALUATION SHALL BE PERFORMED AS OFTEN AS NECESSARY UNTIL POORLY FUNCTIONING OR DAMAGED EROSION CONTROLS OR SEDIMENT CONTROLS ARE CORRECTED, AND, AT A MINIMUM, ONCE EVERY SIX MONTHS.
(c) THE CEMPp SHALL BE AMENDED BY THE PERMITTEE IF THE QCP IDENTIFIES ANY NEEDED MODIFICATIONS OR ADDITIONS TO EROSION AND SEDIMENT CONTROLS, THE CEMPp SHALL BE UPDATED IN ACCORDANCE WITH PART III.E.4.
(d) THE PERMITTEE SHALL MAINTAIN APPROPRIATE DOCUMENTATION OF THE CEMPp EVALUATION.

I. CORRECTIVE ACTION
1. ANY POORLY FUNCTIONING EROSION CONTROLS OR SEDIMENT CONTROLS, NON-COMPLIANT DISCHARGES, OR ANY OTHER DEFICIENCIES OBSERVED DURING THE INSPECTIONS REQUIRED UNDER PART III.G.2 SHALL BE CORRECTED AS SOON AS POSSIBLE, BUT NOT TO EXCEED FIVE (5) DAYS OF THE INSPECTION UNLESS THE CEMPp SHALL BE AMENDED BY THE PERMITTEE OR THE QCP TAKEN IMMEDIATE ACTION TO CORRECT THE VIOLATION.
2. IN THE EVENT OF A BREACH OF A SEDIMENT BASIN/POND TEMPORARY CONTAMINATION MEASURES SHALL BE TAKEN WITHIN 24 HOURS AFTER THE INSPECTION. PERMANENT CORRECTIVE MEASURES SHALL BE IMPLEMENTED WITHIN FIVE (5) DAYS OF THE INSPECTION; HOWEVER, IF PERMANENT CORRECTIVE MEASURES CANNOT BE IMPLEMENTED WITHIN THE TIMEFRAMES PROVIDED HEREIN THE PERMITTEE SHALL CONTACT THE DEPARTMENT; AND
3. THE OPERATOR SHALL PROMPTLY TAKE ALL REASONABLE STEPS TO REMOVE, TO THE MAXIMUM EXTENT PRACTICAL, POLLUTANTS DEPOSITED OFF-SITE AND SUBSEQUENTLY RESTORE CONVEYANCE STRUCTURE.
J. SUSPENSION OF MONITORING
SUSPENSION OF APPLICABLE MONITORING AND INSPECTION REQUIREMENTS FOR PHASED PROJECTS OR DEVELOPMENTS MAY BE GRANTED PROVIDED:
1. THE DEPARTMENT IS NOTIFIED IN WRITING AT LEAST THIRTY DAYS PRIOR TO THE REQUESTED SUSPENSION;
2. THE PERMITTEE AND THE QCP CERTIFY IN THE REQUEST THAT ALL DISTURBANCE HAS BEEN GRADED, STABILIZED, AND/OR FULLY VEGETATED OR OTHERWISE PERMANENTLY COVERED, AND THAT APPROPRIATE, EFFECTIVE STEPS HAVE WILL BE TAKEN BY THE PERMITTEE TO ENSURE COMPLIANCE WITH THE REQUIREMENTS OF THIS PERMIT AND COMMIT THAT THESE MEASURES WILL REMAIN CONTINUALLY EFFECTIVE UNTIL THE PERMIT IS PROPERLY TERMINATED;
3. THE REQUEST SHOULD BE ACCOMPANIED BY A CONSTRUCTION STORMWATER INSPECTION REPORT CONFIRMING PERMANENT STABILIZATION OF ALL PREVIOUSLY DISTURBED AREAS, INCLUDING MATERIAL STORAGE AREAS, AND ASSOCIATED SUPPORT ACTIVITIES. IN ADDITION, PHOTO DOCUMENTATION MAY BE SUBMITTED FOR CONFIRMATION PURPOSES, AND
4. THE PERMITTEE NOTIFIES THE DEPARTMENT IN WRITING WITHIN 15 DAYS PRIOR TO RESUMPTION OF DISTURBANCE OR COMMENCEMENT OF THE NEXT PHASE OF DEVELOPMENT AND THE PERMITTEE COMPLIES WITH THE REQUIREMENTS OF THIS PERMIT PRIOR TO COMMENCEMENT OF ADDITIONAL DISTURBANCE.
K. PRECIPITATION MEASUREMENT
THE PERMITTEE SHALL MEASURE AND RECORD ALL PRECIPITATION OCCURRING AT THE CONSTRUCTION SITE (INCLUDING RAINFALL AND SNOWFALL). MEASUREMENTS SHALL BE TAKEN USING CONTINUOUS RECORDERS, DAILY READINGS OF AN ONSITE RAIN GAUGE, DAILY READINGS OF AN OFFSITE PRECIPITATION GAUGE LOCATED ADJACENT TO OR IN CLOSE PROXIMITY (FOR NON-LINEAR PROJECTS A MAXIMUM 1 MILE DISTANCE) TO THE FACILITY, OR BY OTHER MEASUREMENT DEVICES ACCEPTABLE TO THE DEPARTMENT (E.G. ONLINE RESOURCES). PRECIPITATION MEASUREMENTS MUST BE RECORDED AT THE CONSTRUCTION SITE.
(a) IMPAIRED WATERS AND TOTAL MAXIMUM DAILY LOAD (TMDL) WATERS
1. THE PERMITTEE MUST DETERMINE WHETHER THE DISCHARGE FROM ANY PART OF THE CONSTRUCTION SITE CONTRIBUTES DIRECTLY OR INDIRECTLY TO A WATERBODY THAT IS INCLUDED ON THE LATEST 4303(D) LIST OR DESIGNATED BY THE DEPARTMENT AS IMPAIRED.
2. IF THE PERMITTEE'S CONSTRUCTION SITE DISCHARGES TO A WATERBODY INCLUDED ON THE LATEST 4303(D) OR DESIGNATED BY THE DEPARTMENT AS IMPAIRED, IT MUST DEMONSTRATE THE DISCHARGES, AS CONTROLLED BY THE PERMITTEE, DO NOT CAUSE OR CONTRIBUTE TO THE IMPAIRMENT. THE CEMPp MONITORING AND REPORTING REQUIREMENTS FOR CONTROL DISCHARGES OF POLLUTANTS ASSOCIATED WITH THE IMPAIRMENT, IF EXISTING BMPs ARE NOT SUFFICIENT TO ACHIEVE THIS DEMONSTRATION, THE PERMITTEE MUST, WITHIN SIXTY (60) DAYS FOLLOWING THE PUBLICATION OF THE LATEST FINAL 4303(D) LIST, DEPARTMENT DESIGNATION, OR THE EFFECTIVE DATE OF THIS PERMIT, SUBMIT A REVISED CEMPp DETAILING NEW OR MODIFIED BMPs. THE CEMPp MUST BE REVISED AS DIRECTED BY THE DEPARTMENT AND THE NEW OR MODIFIED BMPs MUST BE IMPLEMENTED WITHIN NINETY (90) DAYS FROM THE PUBLICATION OF THE LATEST FINAL 4303(D) LIST OR DEPARTMENT DESIGNATION.
(b) PERMITTEES DISCHARGING FROM CONSTRUCTION SITES INTO WATERS WITH EPA-APPROVED TMDLs AND/OR EPA ESTABLISHED TMDLs
(i) THE PERMITTEE MUST DETERMINE WHETHER ITS CONSTRUCTION SP
(ii) IT CHARGES TO A WATERBODY FOR WHICH A TOTAL MAXIMUM DAILY LOAD (TMDL) HAS BEEN ESTABLISHED OR APPROVED BY EPA. IF A CONSTRUCTION SITE DISCHARGES INTO A WATER BODY WITH AN EPA APPROVED OR ESTABLISHED TMDL, THEN THE CEMPp MUST INCLUDE BMPs TARGETED TO MEET THE ASSUMPTIONS AND REQUIREMENTS OF THE TMDL. IF ADDITIONAL BMPs WILL BE NECESSARY TO MEET THE REQUIREMENTS OF THE TMDL, THE CEMPp MUST INCLUDE A SCHEDULE FOR INSTALLATION AND/OR IMPLEMENTATION OF SUCH BMPs.
(i) IF, DURING THIS PERMIT CYCLE, A TMDL IS APPROVED BY EPA OR A TMDL IS ESTABLISHED BY EPA FOR ANY WATERBODY TO WHICH THE CONSTRUCTION SITE DISCHARGES, THE PERMITTEE MUST REVIEW THE APPLICABLE TMDL TO SEE IF IT INCLUDES REQUIREMENTS FOR CONTROL OF STORM WATER DISCHARGE FROM THE CONSTRUCTION SITE.
(ii) IF IT IS FOUND THAT THE PERMITTEE MUST IMPLEMENT SPECIFIC ALLOCATIONS OF THE TMDL, IT MUST ASSESS WHETHER THE ASSUMPTIONS AND REQUIREMENTS OF THE TMDL ARE BEING MET THROUGH IMPLEMENTATION OF EXISTING BMPs OR IF ADDITIONAL BMPs ARE NECESSARY. THE CEMPp MUST INCLUDE BMPs TARGETED TO MEET THE ASSUMPTIONS AND REQUIREMENTS OF THE TMDL. IF EXISTING BMPs ARE NOT SUFFICIENT, THE PERMITTEE MUST, WITHIN SIXTY (60) DAYS FOLLOWING THE APPROVAL OR ESTABLISHMENT OF THE TMDL BY EPA, SUBMIT A REVISED CEMPp DETAILING NEW OR MODIFIED BMPs TO BE UTILIZED ALONG WITH A SCHEDULE OF INSTALLATION AND/OR IMPLEMENTATION OF SUCH BMPs. ANY NEW OR MODIFIED BMPs MUST BE IMPLEMENTED WITHIN NINETY (90) DAYS, UNLESS AN ALTERNATE DATE IS APPROVED BY THE DEPARTMENT, FROM THE ESTABLISHMENT OR APPROVAL OF THE TMDL BY EPA.

III. STANDARD AND GENERAL PERMIT CONDITIONS
A. DUTY TO COMPLY
1. THE PERMITTEE MUST COMPLY WITH ALL TERMS AND CONDITIONS OF THIS PERMIT. ANY PERMIT NONCOMPLIANCE CONSTITUTES A VIOLATION OF THE AWPCA AND THE FWPCA AND IS GROUNDS FOR ENFORCEMENT ACTION, TERMINATION, OR SUSPENSION OF COVERAGE UNDER THIS PERMIT; DENIAL OF A NOI FOR RENEWAL; A REQUIREMENT THAT THE PERMITTEE SUBMIT AN APPLICATION FOR AN INDIVIDUAL NPDES PERMIT.
2. FOR ANY VIOLATION(S) OF THIS PERMIT, THE PERMITTEE MAY BE SUBJECT TO A CIVIL PENALTY AS AUTHORIZED BY THE AWPCA, THE FWPCA, AND CODE OF ALABAMA 1975, 922-2-1 ET. SEQ., AS AMENDED, AND/OR A CRIMINAL PENALTY AS AUTHORIZED BY CODE OF ALABAMA 1975, 922-2-1 ET. SEQ., AS AMENDED.
3. THE DISCHARGE OF A POLLUTANT FROM A SOURCE NOT SPECIFICALLY IDENTIFIED IN THE NOI TO BE COVERED UNDER THIS PERMIT AND NOT SPECIFICALLY INCLUDED IN THE DESCRIPTION OF AN OUTFALL (WHERE APPLICABLE) IN THIS PERMIT IS NOT AUTHORIZED AND SHALL CONSTITUTE NONCOMPLIANCE WITH THIS PERMIT.
NOTHING IN THIS PERMIT SHALL BE CONSTRUED TO PRECLUDE OR NEGATE THE PERMITTEE'S RESPONSIBILITY OR LIABILITY TO APP
PLY FOR, OBTAIN, OR COMPLY WITH OTHER ADEM, FEDERAL, STATE, OR LOCAL GOVERNMENT PERMITS, CERTIFICATIONS, LICENSES, OR OTHER APPROVALS.
B. DUTY TO REAPPY
1. THE PERMITTEE AUTHORIZED TO DISCHARGE UNDER THIS GENERAL PERMIT, WHO WISHES TO CONTINUE TO DISCHARGE UPON THE EXPIRATION OF THIS PERMIT, SHALL SUBMIT A NOI TO BE COVERED BY THE REISSUED GENERAL PERMIT. SUCH NOI SHALL BE SUBMITTED AT LEAST 30 DAYS PRIOR TO THE EXPIRATION DATE OF THIS GENERAL PERMIT.
2. FAILURE OF THE PERMITTEE TO SUBMIT A COMPLETE NOI FOR REAUTHORIZATION UNDER THIS PERMIT AT LEAST 30 DAYS PRIOR TO THE PERMIT'S EXPIRATION WILL VOID THE AUTOMATIC CONTINUATION OF THE AUTHORIZATION TO DISCHARGE UNDER THIS PERMIT AS PROVIDED BY ADEM ADMIN. CODE R. 335-6-6-.09. SHOULD THE PERMIT NOT BE REISSUED FOR ANY REASON PRIOR TO ITS EXPIRATION DATE, PERMITTEES WHO FAILED TO MEET THE 30-DAY SUBMITTAL DEADLINE WILL BE ILLEGALLY DISCHARGING WITHOUT A PERMIT AFTER THE EXPIRATION DATE OF THE PERMIT.
C. NEED TO HALT OR REDUCE ACTIVITY NOT A DEFENSE
IT SHALL NOT BE A DEFENSE FOR THE PERMITTEE IN AN ENFORCEMENT ACTION THAT IT WOULD HAVE BEEN NECESSARY TO HALT OR REDUCE CONSTRUCTION ACTIVITIES IN ORDER TO MAINTAIN COMPLIANCE WITH THE CONDITIONS OF THE PERMIT.
D. DUTY TO MITIGATE
1. THE PERMITTEE SHALL TAKE ALL REASONABLE STEPS TO MITIGATE OR PREVENT ANY VIOLATION OF THE PERMIT OR TO MINIMIZE OR PREVENT ANY ADVERSE IMPACT OF ANY PERMIT VIOLATION.

E. PROPER OPERATION AND MAINTENANCE
THE PERMITTEE SHALL AT ALL TIMES PROPERLY OPERATE AND MAINTAIN ALL FACILITIES AND SYSTEMS OF TREATMENT AND CONTROL (LAND RELATED APPURTENANCES) WHEN INSTALLED OR USED BY THE PERMITTEE TO ACHIEVE COMPLIANCE WITH THE CONDITIONS OF THIS PERMIT. PROPER OPERATION AND MAINTENANCE INCLUDES EFFECTIVE PERFORMANCE, ADEQUATE FUNDING, ADEQUATE OPERATOR STAFFING AND TRAINING, AND ADEQUATE LABORATORY AND PROCESS CONTROLS, INCLUDING APPROPRIATE QUALITY ASSURANCE PROCEDURES. THIS PROVISION REQUIRES THE OPERATION OF BACKUP OR AUXILIARY FACILITIES ONLY WHEN NECESSARY TO ACHIEVE COMPLIANCE WITH THE CONDITIONS OF THIS PERMIT.
F. PERMIT MODIFICATION, REVOCATION AND REISSUANCE, SUSPENSION, AND TERMINATION
1. DURING THE TERM OF THIS GENERAL PERMIT THE DIRECTOR MAY, FOR CAUSE, AND SUBJECT TO THE PUBLIC NOTICE PROCEDURE OF ADEM ADMINISTRATIVE CODE R. 335-6-6-.21, MODIFY OR REVOKE AND REISSUE THIS GENERAL PERMIT. THE CAUSES FOR THIS ACTION INCLUDE THE CAUSES LISTED BELOW:
(a) WHEN THE DIRECTOR RECEIVES ANY INFORMATION THAT WAS NOT AVAILABLE AT THE TIME OF PERMIT ISSUANCE AND THAT WOULD HAVE JUSTIFIED THE APPLICATION OF DIFFERENT PERMIT CONDITIONS AT THE TIME OF ISSUANCE;
(b) WHEN THE STANDARDS OR REGULATIONS ON WHICH THE PERMIT WAS BASED HAD BEEN CHANGED BY PROMULGATION OF AMENDED STANDARDS OR REGULATIONS OR BY JUDICIAL DECISION AFTER THE PERMIT WAS ISSUED;
(c) UPON FAILURE OF THE STATE TO NOTIFY, AS REQUIRED BY SECTION 401(B)(3) OF THE FWPCA, ANOTHER STATE WHOSE WATERS MAY BE AFFECTED BY A DISCHARGE;
(d) WHEN THE LEVEL OF DISCHARGE OF ANY POLLUTANT WHICH IS NOT LIMITED IN THE PERMIT EXCEEDS THE LEVEL WHICH MAY BE ACHIEVED BY THE TECHNOLOGY BASED TREATMENT REQUIREMENTS APPROPRIATE TO THE DISCHARGE UNDER 40 CFR 125-3(C)(1)(9-19-94).
(e) TO CORRECT TECHNICAL MISTAKES, SUCH AS ERRORS IN CALCULATIONS, OR MISTAKE INTERPRETATIONS OF THE LAW MADE IN DETERMINING PERMIT CONDITIONS;
(f) WHEN THE PERMIT LIMITATIONS ARE FOUND NOT TO BE PROTECTIVE OF WATER QUALITY STANDARDS; OR
(g) FOR ANY APPLICABLE CAUSE SET FORTH IN 40 CFR SECTIONS 122.61, 122.62, 122.63, 122.64, AND 122.64 (1994).
2. SUBJECT TO THE PUBLIC NOTICE PROCEDURES OF 40 CFR 335-6-6-.21, THE DIRECTOR MAY TERMINATE THIS GENERAL PERMIT DURING ITS TERM FOR ANY OF THE CAUSES FOR MODIFICATION LISTED IN ADEM ADMIN CODE R. 335-6-6-.23(F)(A).
3. THE DIRECTOR MAY TERMINATE COVERAGE OF A DISCHARGE UNDER THIS GENERAL PERMIT FOR CAUSE. CAUSE SHALL INCLUDE BUT NOT BE LIMITED TO NONCOMPLIANCE WITH DEPARTMENT RULES; OR A FINDING THAT THE GENERAL PERMIT DOES NOT PROVIDE ADEQUATE PROTECTION OF WATER QUALITY TO PROTECT WATER QUALITY OR COMPLY WITH TREATMENT BASED LIMITS APPLICABLE TO THE DISCHARGE.
4. ANY PERSON MAY PETITION THE DIRECTOR FOR WITHDRAWAL OF THIS GENERAL PERMIT AUTHORITY FROM A DISCHARGER. THE DIRECTOR SHALL CONSIDER THE INFORMATION SUBMITTED BY THE PETITIONER AND ANY OTHER INFORMATION HE MAY BE AWARE OF AND MAY OBTAIN ADDITIONAL INFORMATION FROM THE DISCHARGER AND THROUGH INSPECTIONS BY DEPARTMENT STAFF AND SHALL DECIDE IF COVERAGE SHOULD BE WITHDRAWN. THE PETITIONER SHALL BE INFORMED OF THE DIRECTOR'S DECISION AND SHALL BE PROVIDED A SUMMARY OF THE INFORMATION CONSIDERED.
G. PROPERTY RIGHTS
THIS PERMIT DOES NOT CONVEY ANY PROPERTY RIGHTS IN EITHER REAL OR PERSONAL PROPERTY, OR ANY EXCLUSIVE PRIVILEGES, NOR DOES IT AUTHORIZE ANY INJURY TO PERSONS OR PROPERTY OR INVASION OF OTHER PRIVATE RIGHTS, OR ANY IMPAIRMENT OF FEDERAL OR STATE LOCAL LAWS OR REGULATIONS, NOR DOES IT AUTHORIZE OR APPROVE THE CONSTRUCTION OF ANY PHYSICAL STRUCTURES OR FACILITIES OR THE UNDERTAKING OF ANY WORK IN ANY WATERS OF THE STATE OR OF THE UNITED STATES.
H. DUTY TO PROVIDE INFORMATION
1. THE PERMITTEE SHALL FURNISH TO THE DIRECTOR, WITHIN A REASONABLE TIME, ANY INFORMATION WHICH THE DIRECTOR MAY NEED TO DETERMINE WHETHER TO GRANT, DENY, SUSPEND, OR TERMINATE THIS PERMIT OR TO DETERMINE COMPLIANCE WITH THIS PERMIT. THE PERMITTEE SHALL ALSO FURNISH TO THE DIRECTOR UPON REQUEST, COPIES OF RECORDS REQUIRED TO BE KEPT BY THIS PERMIT.
2. THE PERMITTEE SHALL INFORM THE DIRECTOR IN WRITING OF ANY CHANGE IN THE PERMITTEE'S MAILING ADDRESS OR TELEPHONE NUMBER OR IN THE PERMITTEE'S DESIGNATION OF A FACILITY CONTACT OR OFFICER HAVING THE AUTHORITY AND RESPONSIBILITY TO PREVENT AND ABATE VIOLATIONS OF THE AWPCA, THE DEPARTMENT'S RULES AND THE TERMS AND CONDITIONS OF THIS PERMIT NO LATER THAN TEN (10) DAYS AFTER SUCH CHANGE. UPON RECEIVING THIS INFORMATION FROM THE PERMITTEE, THE DIRECTOR MAY REQUIRE ADDITIONAL INFORMATION FROM THE PERMITTEE.
3. IF THE PERMITTEE BECOMES AWARE THAT IT FAILED TO SUBMIT ANY RELEVANT FACTS IN THE NOI, OR SUBMITTED INCORRECT INFORMATION IN THE NOI; OR IN ANY REPORT TO THE DIRECTOR, IT SHALL PROMPTLY SUBMIT SUCH FACTS OR INFORMATION WITH A WRITTEN EXPLANATION FOR THE MISTAKE AND/OR OMISSION.
I. INSPECTION AND ENTRY
THE PERMITTEE SHALL ALLOW THE DIRECTOR, OR AN AUTHORIZED REPRESENTATIVE, UPON THE PRESENTATION OF CREDENTIALS AND OTHER DOCUMENTS AS MAY BE REQUIRED BY LAW TO:
1. ENTER UPON THE PERMITTEE'S PREMISES WHERE A REGULATED ACTIVITY IS LOCATED OR CONDUCTED, OR WHERE RECORDS MUST BE KEPT UNDER THE CONDITIONS OF THIS PERMIT;
2. INSPECT AT ANY TIME THE PERMITTEE'S FACILITIES, EQUIPMENT (INCLUDING MONITORING AND CONTROL EQUIPMENT), REASONABLE, OR OPERATIONS REGULATED OR REQUIRED UNDER THIS PERMIT; AND
3. SAMPLE OR MONITOR AT REASONABLE TIMES, FOR THE PURPOSES OF ASSURING PERMIT COMPLIANCE OR AS AUTHORIZED BY FEDERAL OR STATE LOCAL LAWS OR REGULATIONS, NOR DOES IT AUTHORIZE OR APPROVE THE CONSTRUCTION OF ANY PHYSICAL STRUCTURES OR FACILITIES AT ANY LOCATION.
J. NONCOMPLIANCE NOTIFICATION
1. THE PERMITTEE MUST NOTIFY THE DEPARTMENT IF, FOR ANY REASON, THE PERMITTEE'S DISCHARGE:
(a) POTENTIALLY THREATENS HUMAN HEALTH OR WELFARE;
(b) THREATENS FISH OR AQUATIC LIFE;
(c) CAUSES AN IN-STREAM WATER QUALITY CRITERION AS LISTED IN ADEM ADMIN. CODE CH. 335-6-10 TO BE EXCEEDED;
(d) DOES NOT COMPLY WITH AN APPLICABLE TOXIC POLLUTANT EFFLUENT STANDARD OR PROHIBITION ESTABLISHED UNDER SECTION 301(A) OF THE FWPCA, 33 U.S.C. 1311(A); OR
(e) CONTAINS A QUANTITY OF A HAZARDOUS SUBSTANCE WHICH HAS BEEN DETERMINED MAY BE HARMFUL TO THE PUBLIC HEALTH OR WELFARE UNDER SECTION 311(B)(4) OF THE FWPCA, 33 U.S.C. 1311(B)(4).
THE PERMITTEE SHALL ORALLY REPORT THE OCCURRENCES, DESCRIBING THE CIRCUMSTANCES AND POTENTIAL EFFECTS OF SUCH DISCHARGE TO THE DIRECTOR NO LATER THAN 24 HOURS AFTER THE PERMITTEE BECOMES AWARE OF THE OCCURRENCE OF SUCH DISCHARGE. IN ADDITION TO THE ORAL REPORT, THE PERMITTEE SHALL SUBMIT TO THE DIRECTOR A WRITTEN REPORT AS PROVIDED IN PART IV.2 BELOW, NO LATER THAN FIVE (5) DAYS AFTER BECOMING AWARE OF THE OCCURRENCE OF SUCH DISCHARGE.
2. THE WRITTEN REPORT SHALL BE IN A FORMAT ACCEPTABLE TO THE DEPARTMENT AND SHALL INCLUDE:
(a) A DESCRIPTION OF THE NONCOMPLIANT EVENT, ITS CAUSE, IF KNOWN, AND LOCATION;
(b) THE PERIOD OF NONCOMPLIANCE, INCLUDING EXACT DATES AND TIMES OR, IF NOT CORRECTED, THE ANTICIPATED TIME THE NONCOMPLIANCE WILL BE CORRECTED; AND
(c) A DESCRIPTION OF THE STEPS TAKEN AND/OR BEING TAKEN TO REDUCE OR ELIMINATE THE NONCOMPLYING DISCHARGE AND TO PREVENT ITS REURRENCE.
K. RETENTION OF RECORDS
1. THE PERMITTEE SHALL RETAIN RECORDS OF ALL INSPECTION RECORDS, MONITORING INFORMATION, INCLUDING ALL CALIBRATION AND MAINTENANCE RECORDS AND ALL ORIGINAL STRIP CHART RECORDINGS FOR CONTINUOUS MONITORING INSTRUMENTATION, COPIES OF ALL REPORTS REQUIRED BY THE PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE SUCH REPORTS, FOR A PERIOD OF AT LEAST THREE (3) YEARS FROM THE DATE OF THE INSPECTION, SAMPLE MEASUREMENT, OR REPORT. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE DIRECTOR AT ANY TIME. IF LITIGATION OR OTHER ENFORCEMENT ACTION IS PENDING, THE PERMITTEE SHALL MAINTAIN RECORDS WHICH INVOLVES ANY OF THESE RECORDS, THE RECORDS SHALL BE KEPT UNTIL THE LITIGATION IS RESOLVED.
2. ALL RECORDS REQUIRED TO BE KEPT FOR A PERIOD OF THREE (3) YEARS SHALL BE KEPT AT THE PERMITTED FACILITY OR AN ALTERNATE LOCATION IDENTIFIED TO THE DEPARTMENT IN WRITING AND SHALL BE AVAILABLE FOR INSPECTION UPON REQUEST.
L. SIGNATORY REQUIREMENTS
THE NOI AND ALL REPORTS OR INFORMATION SUBMITTED TO THE DIRECTOR SHALL BE SIGNED AND CERTIFIED ACCORDING TO THE REQUIREMENT OF ADEM ADMIN CODE R. 335-6-6-.09. WHERE REQUIRED BY THIS PERMIT, DOCUMENTS WILL ALSO BE SIGNED BY A QCP OR QCI.
M. TRANSFERS
THIS PERMIT MAY NOT BE TRANSFERRED WITHOUT NOTICE TO THE DIRECTOR AND SUBSEQUENT MODIFICATION OR REVOCATION AND REISSUANCE OF THIS PERMIT. IN THE CASE OF A CHANGE IN NAME, OWNERSHIP OR CONTROL OF THE PERMITTEE'S PREMISES, A REQUEST FOR PERMIT MODIFICATION IN A FORMAT ACCEPTABLE TO THE DIRECTOR IS REQUIRED WITHIN 15 DAYS OF THE CHANGE OCCURRING.
N. BYPASS
ANY BYPASS OF EROSION CONTROLS, SEDIMENT CONTROLS, OR ANY OTHER STORMWATER MANAGEMENT/TREATMENT CONTROLS SPECIFIED IN THE CEMPp IS PROHIBITED EXCEPT AS PROVIDED BY ADEM ADMIN CODE R. 335-6-6-.12(M).
O. UPSET
1. EFFECT OF AN UPSET. AN UPSET CONSTITUTES AN AFFIRMATIVE DEFENSE TO AN ACTION BROUGHT FOR NONCOMPLIANCE WITH THIS PERMIT TO ANY CIRCUMSTANCE IS HELD INVALID. THE APPLICATION OF SUCH PROVISION TO OTHER CIRCUMSTANCES, AND THE REMAINDER OF THIS PERMIT SHALL NOT BE AFFECTED THEREBY.
Q. ISSUANCE OF AN INDIVIDUAL PERMIT
THE DIRECTOR MAY REQUIRE THE PERMITTEE TO OBTAIN AN INDIVIDUAL PERMIT FOR DISCHARGES COVERED BY THIS PERMIT IN ACCORDANCE WITH ADEM ADMIN. CODE R. 335-6-6-.23(D).
R. REQUEST FOR INDIVIDUAL PERMIT BY GENERAL PERMIT HOLDER
1. ANY PERSON COVERED BY THIS GENERAL PERMIT MAY APPLY FOR TERMINATION OF COVERAGE BY APPLYING FOR AN INDIVIDUAL NPDES PERMIT.
2. A PERMIT APPLICATION SUBMITTED VOLUNTARILY OR AT THE DIRECTION OF THE DIRECTOR FOR THE PURPOSE OF TERMINATION OF COVERAGE BY THIS GENERAL PERMIT SHALL BE PROCESSED IN ACCORDANCE WITH

VI. EROSION AND SEDIMENT CONTROL NOTES:
1. NAME AND PHONE NUMBER OF THE 24-HOUR LOCAL CONTACT PERSON RESPONSIBLE FOR EROSION CONTROL. EMERGENCIES IS: ATTN: NAME: KEITH HALL
2. THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
3. EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES WILL BE MAINTAINED AT ALL TIMES, IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR PROTECTIVE EROSION AND SEDIMENT CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
4. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/2 FULL VOLUME.
5. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE RESPONSIBLE OFFICIAL.
6. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 13 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
7. ALL FILL SLOPES SHALL BE SLOTTED, PLACED AT THE SLOPES TOPE. CONSTRUCTION WASTE SHALL NOT BE BURNED OR BURIED AND MUST BE TAKEN TO A STATE APPROVED LANDFILL.
8. REMEDIATION OF ALL PETROLEUM OILS AND LEAKS ENCOUNTERED DURING DRAINAGE OPERATIONS SHALL BE MANAGED BY A QUALIFIED PROFESSIONAL.
9. OFF-SITE VEHICLE TRACKING OF DIRT, SOILS, AND SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED OR ELIMINATED TO THE MAXIMUM EXTENT PRACTICAL.
10. ALL PERMITTEES SHALL ENSURE AND DEMONSTRATE THAT THEIR PLAN IS IN COMPLIANCE WITH THE APPLICABLE STATE AND LOCAL WASTE DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEM REGULATIONS.
11. ANY AMENDMENTS/REVISIONS TO THE CEMPp WHICH HAVE SIGNIFICANT EFFECT ON BMPs WITH HYDRAULIC COMPONENT MUST BE APPROVED BY THE DESIGN PROFESSIONAL, QCP.
13. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
14. THERE ARE NO WETLANDS ON-SITE.
15. CONTRACTOR INSTALLING AND/OR MONITORING EROSION CONTROL MEASURES SHALL HAVE A VALID QCP/QCI CERTIFICATION NUMBER.
16. ACCUMULATED SEDIMENT REMOVED FROM ON-SITE BMPs SHALL BE USED ON-SITE IN NON-STRUCTURAL AREAS AND APPROPRIATELY STABILIZED. SEDIMENT SHALL NOT BE ALLOWED TO ENTER STATE WATERS. ANY SEDIMENT ACCUMULATED OFF-SITE SHALL BE REMOVED BY HAND AND PLACED IN APPROPRIATE AREAS ON-SITE.

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SITE DESCRIPTION & INTENDED PURPOSE

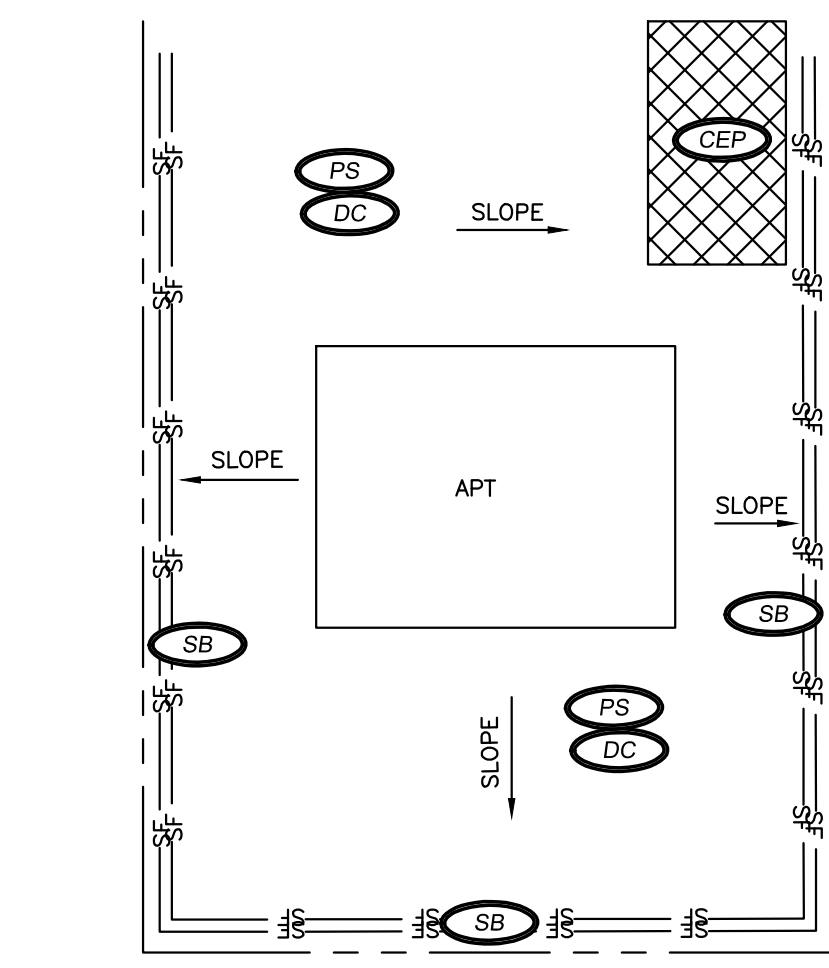
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BMP NARRATIVE

THE CONTRACTOR SHALL ADHERE TO ALL EROSION CONTROL REQUIREMENTS OF ADEM AND ANY OTHER GOVERNING AGENCY. WHETHER LISTED HEREIN OR NOT. THE CONTRACTOR IS CAUTIONED THAT APPROPRIATE BMP CONTROL SHALL BE INSTALLED TO ENSURE THAT SEDIMENT LADEN RUNOFF OR SILT DOES NOT LEAVE THE SITE.

EROSION AND SEDIMENT CONTROL NOTES

- 1. CONTRACTOR SHALL FOLLOW THE PROJECT PHASING SHOWN ON THE PLANS. THE CONTRACTOR SHALL INSURE THAT THE MINIMUM AREA IS STRIPPED OF ITS NATURAL COVER AND FOR A MINIMUM AMOUNT OF TIME AS PRACTICAL THROUGH OUT THE GRADING PHASES.



TYPICAL LOT BMP PLAN N.T.S.



TABLE SOD-2 Adaptation and Maintenance of Grasses Used for Sodding

Table with columns: SPECIES, SHADE, HEAT, COLD, DROUGHT, WEAR, MOWING HEIGHT, MOWING FREQ.

TABLE SOD-1 Grasses Adapted for Sodding in Alabama

Table with columns: WARM SEASON SPECIES, VARIETY, AREA ADAPTED.

TABLE MU-1 Mulching Materials and Application Rates

Table with columns: MATERIAL, RATE PER ARCE, NOTES.

TABLE TS-1 Commonly Used for Temporary Cover

Table with columns: SPECIES, SEEDING RATE/AC, SEEDING DATES (NORTH, CENTRAL, SOUTH).

Table: STRUCTURAL PRACTICES vs VEGETATIVE MEASURES. Includes codes like CEP, SB, PS, DC.

SURFACE PREPARATION FOR PERMANENT SEEDING AND SOD. Clear the area of clods, rocks, etc. and smooth the area. Grade and loosen the soil to a smooth firm surface to enhance rooting.

APPLICATION OF SOIL AMENDMENTS

Apply fertilizer and lime according to the plan or by soil test recommendations. In the absence of a plan or soil test recommendations apply agricultural limestone at a rate of 2 tons per acre (90 lbs. per 1000 s.f.) and 10-10-10 fertilizer at the rate of 1000 lbs. per acre (25 lbs per 1000 s.f.).

INSTALLING THE SOD

Lay the first row of sod in a straight line with subsequent rows placed parallel to and butting tightly against each other. Stagger joints to create a brick-like pattern and promote more uniform growth and strength.

IRRIGATION

Immediately after laying the sod, roll or tamp it to provide firm contact between roots and soil, then irrigate sod deeply so that the underside of the sod pad and the soil 6" below the sod is thoroughly wet.

SITE PREPARATION AND SOIL AMENDMENTS FOR TEMP. SEEDING

COMPLETE GRADING AND SHAPING BEFORE APPLYING SOIL AMENDMENTS IF GRADING AND SHAPING ARE NEEDED TO PROVIDE A SURFACE ON WHICH EQUIPMENT CAN SAFELY AND EFFICIENTLY BE USED TO APPLY SOIL AMENDMENTS AND ACCOMPLISH SEEDBED PREPARATION AND SEEDING.

LIME

APPLY LIME ACCORDING TO SOIL TEST RECOMMENDATIONS. IF A SOIL TEST IS NOT AVAILABLE, USE 1 TON OF AGRICULTURAL LIMESTONE OR EQUIVALENT PER ACRE ON COARSE TEXTURED SOILS AND 3 TONS PER ACRE ON FINE TEXTURED SOILS.

FERTILIZER

APPLY FERTILIZER ACCORDING TO SOIL TEST RESULTS. IF A SOIL TEST IS NOT AVAILABLE, APPLY 8-24-24 FERTILIZER.

WHEN VEGETATION HAS EMERGED TO A STAND AND IS GROWING, 30 TO 40 LBS/ACRE (APPROXIMATELY 0.8 LBS./10000 FT) OF ADDITIONAL NITROGEN FERTILIZER SHOULD BE APPLIED.

APPLICATION OF SOIL AMENDMENTS

INCORPORATE LIME AND FERTILIZER INTO THE TOP 6" OF SOIL DURING SEEDBED PREPARATION.

SEEDBED PREPARATION

GOOD SEEDBED PREPARATION IS ESSENTIAL TO SUCCESSFUL PLANT ESTABLISHMENT. A GOOD SEEDBED IS WELL FULVERIZED, LOOSE, AND SMOOTH. IF SOILS BECOME COMPACTED DURING GRADING, LOOSEN THEM TO A DEPTH OF 6" TO 8" USING A RIPPER OR CHISEL PLOW.

PLANTING METHODS SEEDING

EVENLY APPLY SEED USING A CYCLONE SEEDER (BROADCAST), DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. BROADCAST SEEDING AND HYDROSEEDING ARE APPROPRIATE FOR STEP SLOPES WHERE EQUIPMENT CANNOT OPERATE SAFELY.

HYDROSEEDING

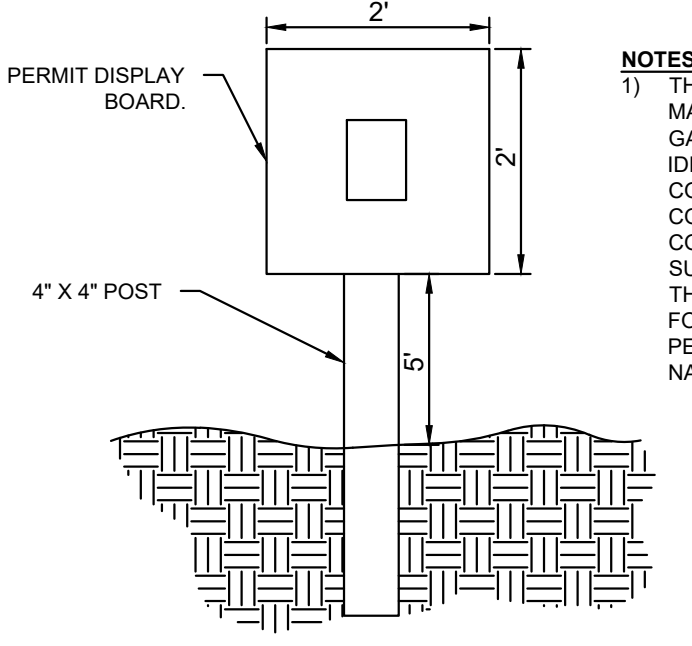
SURFACE ROUGHENING IS PARTICULARLY IMPORTANT WHEN HYDROSEEDING. AS ROUGHENED SURFACE WILL PROVIDE SOME NATURAL COVERAGE FOR LIME, FERTILIZER, AND SEED. THE SURFACE SHOULD NOT BE COMPACTED OR SMOOTH.

MIX SEED, INOCULANT IF REQUIRED, AND A SEED CARRIER WITH WATER AND APPLY AS A SLURRY UNIFORMLY OVER THE AREA TO BE TREATED. THE SEED CARRIER SHOULD BE A CELLULOSE FIBER, NATURAL WOOD FIBER OR CANE FIBER MULCH MATERIAL WHICH IS DYED AN APPROPRIATE COLOR TO RECOMMENDED RATE WHEN ADDING INOCULANT TO A HYDROSEEDER SLURRY.

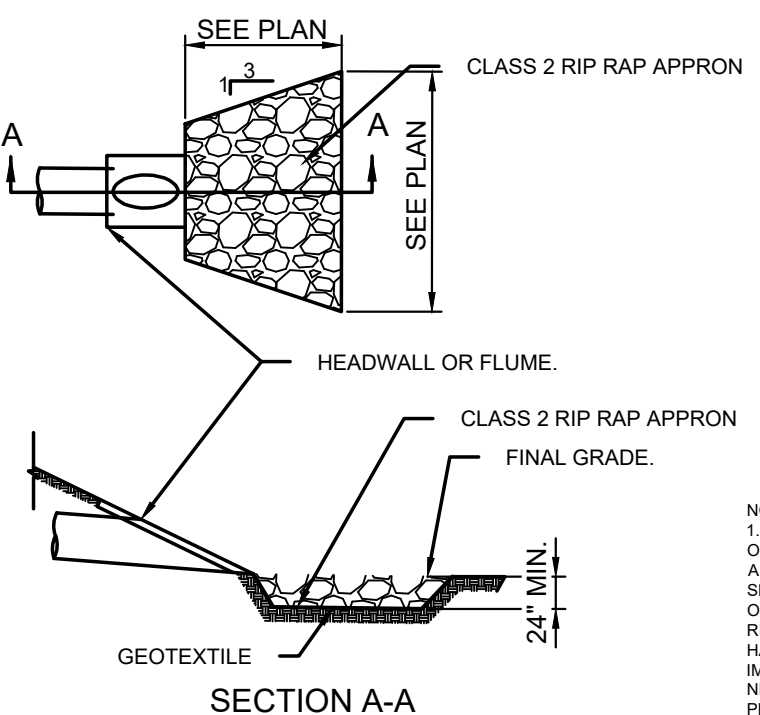
MULCHING

THE USE OF AN APPROPRIATE MULCH WILL HELP ENSURE ESTABLISHMENT OF VEGETATIVE COVER UNDER NORMAL CONDITIONS AND IS ESSENTIAL TO SEEDING SUCCESS UNDER HARSH SITE CONDITIONS (SEE THE MULCHING PRACTICE FOR GUIDANCE). HARSH SITE CONDITIONS INCLUDE THE FOLLOWING:

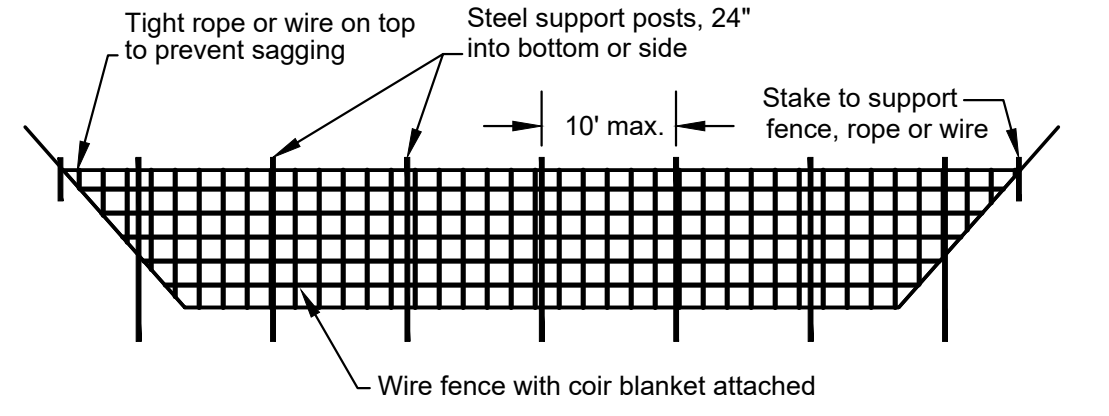
- SEEDING IN LATE FALL FOR WINTER COVER (WOOD FIBER MULCHES ARE NOT CONSIDERED ADEQUATE FOR THIS USE).



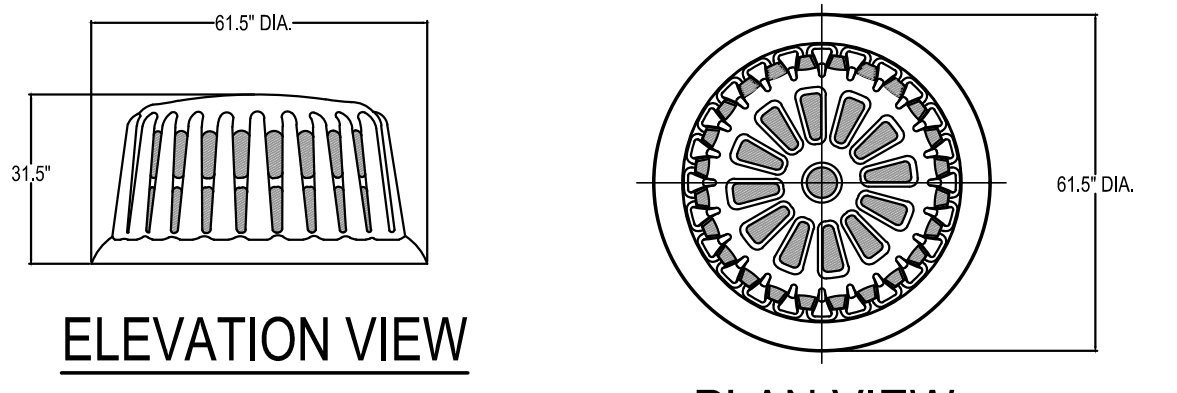
ADEM PERMIT SIGN DETAIL N.T.S.



OP - RIP-RAP APRON DETAIL N.T.S.



SBB - SEDIMENTATION BASIN BAFFLE DETAIL N.T.S.



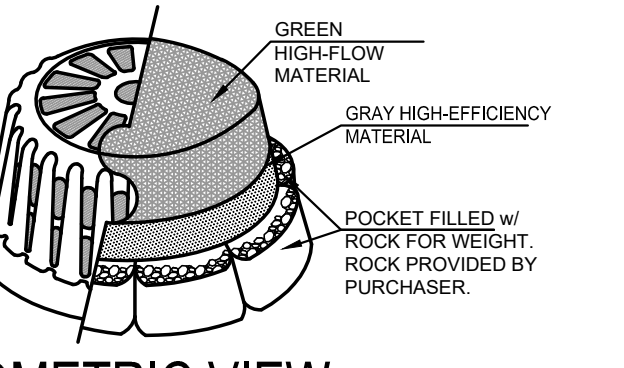
ELEVATION VIEW

PLAN VIEW

FILTER OPTIONS: FILTER IS AVAILABLE IN TWO OPTIONS: 1) ALL HIGH-FLOW FILTER. 2) HIGH-FLOW MATERIAL ON TOP HALF, HIGH-EFFICIENCY MATERIAL ON BOTTOM HALF.

FILTER INSTALLATION: FILTER SLIDES DIRECTLY OVER FILTER FRAME. TO KEEP FILTER FRAME IN PLACE OVER STORM STRUCTURE, ROCK POCKETS ARE SEWN DIRECTLY INTO FILTER.

MAINTENANCE: ALL TEMPORARY EROSION, SEDIMENTATION, & POLLUTION CONTROL PRACTICES SHOULD BE INSPECTED DAILY. CONTRACTOR SHALL REMOVE SEDIMENT AND DISPOSE OF IN A PROPER MANNER.



ISOMETRIC VIEW SHOWN WITH DOT FILTER

REPLACEMENT FILTERS: MODEL # R-140HF OR R-340 DOT. SLS-SAVER, INC. 1200 FORESTER CEMETERY RD, COVINGTON, GA 30014. PHONE: (770) 388-7919. FAX: (770) 388-7940. TOLL FREE: 1-888-382-5811.

ROUND FRAME & FILTER ASSEMBLY Model # R-100A 60" DIAMETER

FRAME MATERIAL: BLACK 0.20" HMMPE. FILTER FABRIC MATERIAL: REFER TO SPEC. SCALE: NOT TO SCALE. LAST UPDATED: AUGUST 2019.

IP 7 DOMED INLET PROTECTION DETAIL N.T.S.

MTTR ENGINEERS, INC. CONSULTING ENGINEERS-LAND SURVEYORS 3 Riverchase Ridge, HOOVER, AL 35244 TELEPHONE (205) 320-0114



BMP NOTES DETAILS/DETAILS PARKSTONE MEADOWS KATIE LANE LEEDS ALABAMA Parkstone Meadows, LLC, Sheridan, Wyo 82801

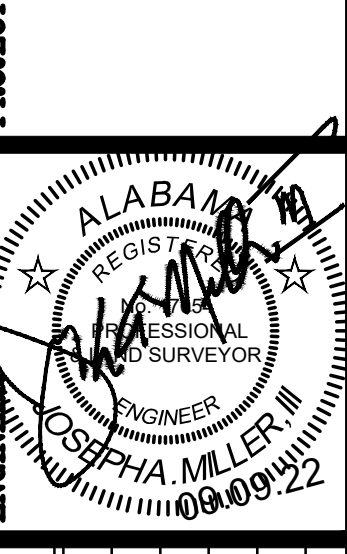


Table with columns: REVISIONS, DATE.

JOB NO.: SUBDIVISIONS FILE NAME: PARKSTONE MEADOWS SHEET 03-06-22 DATE: 03-10-22 DRAWN: JAM III CHECKED: JAM III SCALE: 1"=60' SHEET 11

SITE DESCRIPTION & INTENDED PURPOSE

THE PROPOSED PROJECT IS THE DEVELOPMENT OF EXISTING RESIDENTIAL AND UNDEVELOPED PROPERTIES. THE SITE IS LOCATED ODENVILLE, ALABAMA. DISTURBED ACREAGE IS 4.0 ACRES TO INCLUDE PROPOSED HOUSE SITES, ROADWAY IMPROVEMENTS AND REQUIRED UTILITY WORK. THIS PLAN INTENDS TO CONTROL SEDIMENT LADEN RUN-OFF DURING THE DEVELOPMENT (CUT/FILL, INSTALLATION OF DRAINAGE STRUCTURES, DEMOLITION AND/OR REQUIRED UTILITY WORK).

BMP NARRATIVE

THE CONTRACTOR SHALL ADHERE TO ALL EROSION CONTROL REQUIREMENTS OF ADEM AND ANY OTHER GOVERNING AGENCY. WHETHER LISTED HEREIN OR NOT. THE CONTRACTOR IS CAUTIONED THAT APPROPRIATE BMP CONTROL SHALL BE INSTALLED TO ENSURE THAT SEDIMENT LADEN RUNOFF OR SILT DOES NOT LEAVE THE SITE. ANY FILL PLACEMENT OF EARTH MATERIALS ON SITE WILL CAUSE EXISTING DRAINAGE DIRECTIONS OF STORMWATER TO BE ALTERED. THEREFORE, THE CONTRACTOR SHALL INSTALL ALL NECESSARY BMP CONTROLS (WHETHER INCLUDED AS PART OF THIS PLAN OR NOT) SO AS TO NOT PERMIT SEDIMENT LADEN RUNOFF OR SILT TO LEAVE THE PROJECT CONFINES DUE TO UNFORESEEN CONDITIONS, ACCIDENTS OR HOW THE WORK IS EXECUTED.

EROSION AND SEDIMENT CONTROL NOTES

THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO PROTECT ALL PUBLIC AND PRIVATE PROPERTY FROM DAMAGE CAUSED BY INSTALLATION OF CONTROLS OR GRADING OPERATIONS AND TO REDUCE STORM WATER POLLUTION TO THE MAXIMUM PRACTICABLE. NO LAND-DISTURBING ACTIVITIES SHALL BE UNDERTAKEN EXCEPT IN ACCORDANCE WITH THE FOLLOWING:

- 1. CONTRACTOR SHALL FOLLOW THE PROJECT PHASING SHOWN ON THE PLANS. THE CONTRACTOR SHALL INSURE THAT THE MINIMUM AREA IS STRIPPED OF ITS NATURAL COVER AND FOR A MINIMUM AMOUNT OF TIME AS PRACTICAL THROUGH OUT THE GRADING PHASES.
2. CONTRACTOR SHALL KEEP A COPY OF THE APPROVED LAND DISTURBANCE PERMIT AND ALL OTHER REQUIRED DOCUMENTS REQUIRED BY ADEM AND LOCAL OFFICIALS.
3. CONTRACTOR SHALL MAINTAIN EROSION CONTROL DEVICES THROUGHOUT CONSTRUCTION. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY, BUT SHALL BE REPLACED AT THE END OF THE WORK DAY OR SOONER IF UNFAVORABLE WEATHER IS EXPECTED.
4. ANY SLOPE OR FILL WHICH HAS BEEN GRADED SHALL WITHIN THIRTEEN (13) DAYS OF THE COMPLETION OF SUCH GRADING OR THE COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER, MATERIALS, DEVICES OR STRUCTURES SUFFICIENT TO PREVENT EROSION. THE BMP'S SHALL REMAIN IN PLACE IN ACCORDANCE WITH THE BMP PLAN UNTIL THE GRADED SLOPE OR FILL IS STABILIZED. PERMANENT VEGETATION SHALL BE INSTALLED AS SOON AS POSSIBLE AFTER THE AREA IS AT FINAL GRADE.
5. THE CONSTRUCTION BEST MANAGEMENT PRACTICE PLAN (CBMPP) IS COMPRISED OF THESE DRAWINGS, STANDARD DETAILS, THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
6. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF ALABAMA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
7. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
8. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL, AND STORMWATER MANAGEMENT, WHICHEVER IS MORE STRINGENT. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
9. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, & AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE COLLECTED IN WATERTIGHT CONTAINERS AND COLLECTED MATERIAL TO BE DISPOSED OF IN AN APPROVED LANDFILL WHEN THE CONTAINER REACHES 75% OF ITS CAPACITY. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON-SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS. DUST ON THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST CONTROL IS NOT ALLOWED.
10. ALL EROSION CONTROL MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE, BUT PRIOR TO THE COMMENCEMENT OF EARTH MOVING OPERATIONS.
11. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
12. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM WATER DRAINAGE OUTLET IN CONJUNCTION WITH STABILIZATION OF THE SITE.
13. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
14. ANY SLOPE OR FILL WHICH IS IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
15. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
16. ADDITIONAL PROTECTION ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT FROM LEAVING THE PROJECT CONFINES DUE TO UNFORESEEN CONDITIONS, ACCIDENT OR HOW WORK IS EXECUTED.
17. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD AND PARKING CONSTRUCTION.
18. USE OF DETERGENTS FOR LARGE SCALE WASHING IS PROHIBITED. CHEMICALS, PAINT, SOLVENTS, FERTILIZERS AND OTHER TOXIC MATERIAL MUST BE STORED IN WATERPROOF CONTAINERS, EXCEPT DURING APPLICATION. THE CONTENT MUST BE KEPT IN TRUCKS OR WITHIN STORAGE FACILITIES. RUNOFF CONTAINING SUCH MATERIAL MUST BE COLLECTED, REMOVED FROM THE SITE OR TREATED, AND DISPOSED AT AN APPROVED SOLID WASTE OR CHEMICAL DISPOSAL FACILITY.
19. NO BELOW GROUND STORAGE WILL BE ALLOWED. CONTRACTOR SHALL PROVIDE EMERGENCY CONTAINMENT FOR ANY HAZARDOUS MATERIAL STORED ON-SITE. THIS CONTAINMENT SHALL BE EARTHEN BERMS OR EQUIVALENT. THE CONTAINMENT SHALL COMPLY WITH SPILL PREVENTION CONTROL AND COUNTER MEASURES (SPCC) REGULATIONS FOR PAINT, OIL, GREASE, OTHER PETROLEUM PRODUCTS, OR ANY OTHER MATERIALS. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
20. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, FLUMES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
21. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EROSION AND SEDIMENT CONTROL DEVICES ON-SITE DURING CONSTRUCTION IN ACCORDANCE WITH THE ABOVE, AS A MINIMUM STANDARD, AND SHALL REMOVE ANY SILT BEYOND THE PROPERTY RESULTING FROM CONSTRUCTION, ONCE THE SITE IS STABILIZED AND ACCEPTED. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL DEVICES.

TYPICAL LOT BMP PLAN

N.T.S.

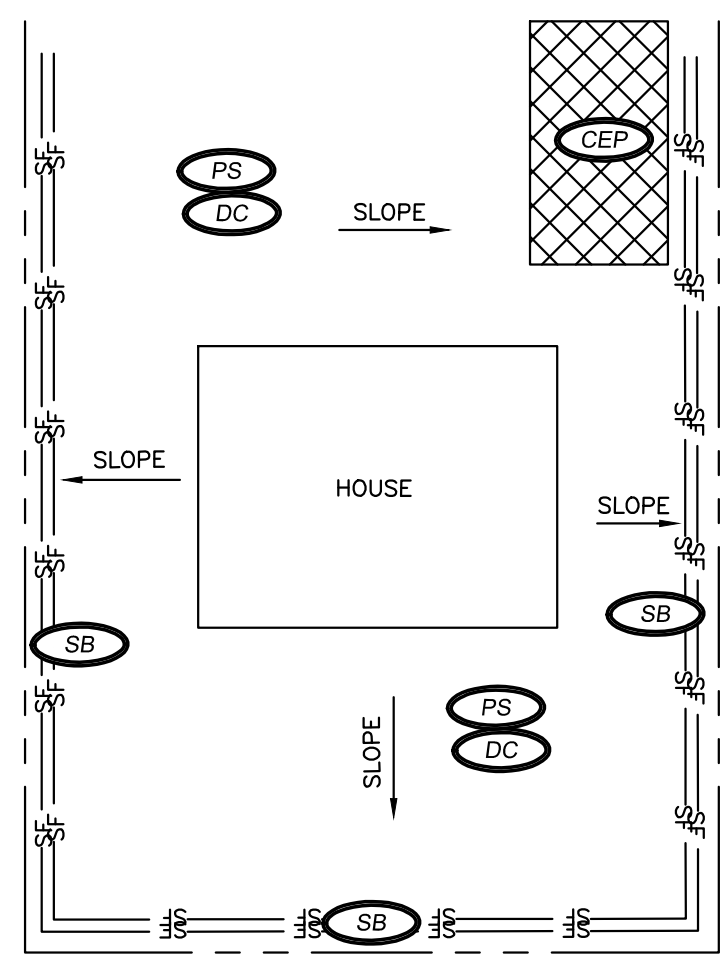


Table with 4 columns: STRUCTURAL PRACTICES (CODE, PRACTICE), VEGETATIVE MEASURES (CODE, PRACTICE). Includes entries for CONSTRUCTION EXIT, SILT FENCE, DISTURBED AREA STABILIZATION, and DUST CONTROL.

SURFACE PREPARATION FOR PERMANENT SEEDING AND SOD
Clear the area of clods, rocks, etc. and smooth the area. Grade and loosen the soil to a smooth firm surface to enhance rooting. Break up large clods and loosen compacted, hard or crusted soil surfaces with a disk, ripper, chisel, harrow or other tillage equipment. Avoid preparing the seedbed under excessively wet conditions. Operate the equipment on the contour.

Where topsoil is specified, additional steps will be done based on the design plan.

APPLICATION OF SOIL AMENDMENTS
Apply fertilizer and lime according to the plan or by soil test recommendations. In the absence of a plan or soil test recommendations apply agricultural limestone at a rate of 2 tons per acre (90 lbs. per 1000 s.f.) and 10-10-10 fertilizer at the rate of 1000 lbs. per acre (25 lbs per 1000 s.f.). Apply ground agricultural limestone unless a soil test shows a pH of 6.0 or greater. Incorporate amendments to a depth of 4" to 6" with a disk or rotary tiller.

Rake or harrow to achieve a smooth, final grade on which to lay the sod. Surface should be loose, and free of plants, trash and other debris.

During high temperatures, moisten the soil immediately prior to laying sod. This cools the soil, reduces root burning and dieback.

INSTALLING THE SOD
Lay the first row of sod in a straight line with subsequent rows placed parallel to and butting tightly against each other. Stagger joints to create a brick-like pattern and promote more uniform growth and strength. Ensure that sod is not stretched, or overlapped and that all joints are butted tight to prevent spaces which would cause drying of the roots.

On slopes 3:1 or steeper, or wherever concentrated flow may be a problem, lay sod with staggered joints and secure by stapling or pegging. Install sod with the length perpendicular to the water flow on the contour. Staple firmly at the corners and middle of each strip. Jute and synthetic netting may be pegged over the sod for further protection against washout during establishment.

IRRIGATION
Immediately after laying the sod, roll or tamp it to provide firm contact between roots and soil, then irrigate sod deeply so that the underside of the sod pad and the soil 6" below the sod is thoroughly wet.

Until a good root system develops, water sod during dry periods as often as necessary to maintain moist soil to a depth of at least 4".

SITE PREPARATION AND SOIL AMENDMENTS FOR TEMP. SEEDING
COMPLETE GRADING AND SHAPING BEFORE APPLYING SOIL AMENDMENTS IF GRADING AND SHAPING ARE NEEDED TO PROVIDE A SURFACE ON WHICH EQUIPMENT CAN SAFELY AND EFFICIENTLY BE USED TO APPLY SOIL AMENDMENTS AND ACCOMPLISH SEEDED PREPARATION AND SEEDING.

LIME
APPLY LIME ACCORDING TO SOIL TEST RECOMMENDATIONS. IF A SOIL TEST IS NOT AVAILABLE, USE 1 TON OF AGRICULTURAL LIMESTONE OR EQUIVALENT PER ACRE ON COARSE TEXTURED SOILS AND 3 TONS PER ACRE ON FINE TEXTURED SOILS. DO NOT APPLY LIME TO ALKALINE SOILS OR TO AREAS WHICH HAVE BEEN LIMED DURING THE PRECEDING 2 YEARS.

FERTILIZER
APPLY FERTILIZER ACCORDING TO SOIL TEST RESULTS. IF A SOIL TEST IS NOT AVAILABLE, APPLY 8-24-24 FERTILIZER.
WHEN VEGETATION HAS EMERGED TO A STAND AND IS GROWING, 30 TO 40 LBS/ACRE (APPROXIMATELY 0.8 LBS./1000 FT²) OF ADDITIONAL NITROGEN FERTILIZER SHOULD BE APPLIED.

NOTE: FERTILIZER CAN BE BLENDED TO MEET EXACT FERTILIZER RECOMMENDATIONS. TAKE SOIL TEST RECOMMENDATIONS TO LOCAL FERTILIZER DEALER FOR BULK FERTILIZER BLENDS. THIS MAY BE MORE ECONOMICAL THAN BAGGED FERTILIZER.

APPLICATION OF SOIL AMENDMENTS
INCORPORATE LIME AND FERTILIZER INTO THE TOP 6" OF SOIL DURING SEEDBED PREPARATION.

SEEDBED PREPARATION
GOOD SEEDBED PREPARATION IS ESSENTIAL TO SUCCESSFUL PLANT ESTABLISHMENT. A GOOD SEEDBED IS WELL PULVERIZED, IS LOOSE, AND SMOOTH. IF SOILS BECOME COMPACTED DURING GRADING, LOOSEN THEM TO A DEPTH OF 6" TO 8" USING A RIPPER OR CHISEL PLOW.

IF RAINFALL HAS CAUSED THE SURFACE TO BECOME SEALED OR CRUSTED, LOOSEN IT JUST PRIOR TO SEEDING BY DISKING, RAKING, HARROWING, OR OTHER SUITABLE METHODS. WHEN HYDROSEEDING METHODS ARE USED, THE SURFACE SHOULD BE LEFT WITH A MORE IRREGULAR SURFACE OF COLDS.

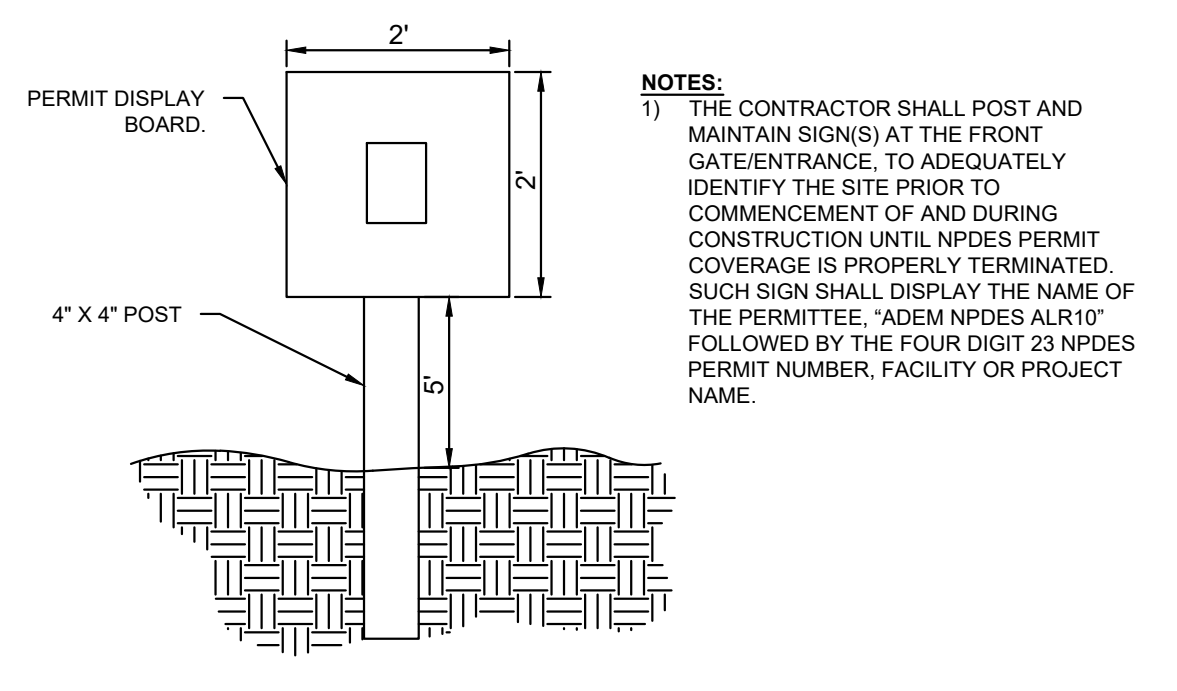
PLANTING METHODS SEEDING
EVENLY APPLY SEED USING A CYCLONE SEEDER (BROADCAST), DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. BROADCAST SEEDING AND HYDROSEEDING ARE APPROPRIATE FOR STEP SLOPES WHERE EQUIPMENT CANNOT OPERATE SAFELY. SMALL GRAINS SHOULD BE PLANTED NO MORE THAN 1" DEEP AND GRASSES AND LEGUMES NO MORE THAN 2" DEEP. BROADCAST SEED MUST BE COVERED BY RAKING OR CHAIN DRAGGING, AND THEN LIGHTLY FIRMED WITH A ROLLER OR CULTIPACKER.

HYDROSEEDING
SURFACE ROUGHENING IS PARTICULARLY IMPORTANT WHEN HYDROSEEDING, AS ROUGHENED SLOPE WILL PROVIDE SOME NATURAL COVERAGE FOR LIME, FERTILIZER, AND SEED. THE SURFACE SHOULD NOT BE COMPACTED OR SMOOTH. FINE SEEDBED PREPARATION IS NOT NECESSARY FOR HYDROSEEDING OPERATIONS. LARGE CLODS, STONES, AND IRREGULARITIES PROVIDE CAVITIES IN WHICH SEEDS CAN LODGE. HYDROSEEDING MIXTURES SHOULD INCLUDE A WOOD FIBER MULCH WHICH IS DYED AN APPROPRIATE COLOR TO FACILITATE UNIFORM APPLICATIONS OF THE SEED.

MIX SEED, INOCULANT IF REQUIRED, AND A SEED CARRIER WITH WATER AND APPLY AS A SLURRY UNIFORMLY OVER THE AREA TO BE TREATED. THE SEED CARRIER SHOULD BE A CELLULOSE FIBER, NATURAL WOOD FIBER OR CANE FIBER MULCH MATERIAL WHICH IS DYED AN APPROPRIATE COLOR TO RECOMMENDED RATE WHEN ADDING INOCULANT TO A HYDROSEEDER SLURRY. THE MIXTURE SHOULD BE APPLIED WITHIN 1 HOUR AFTER MIXING TO REDUCE DAMAGE TO SEED.

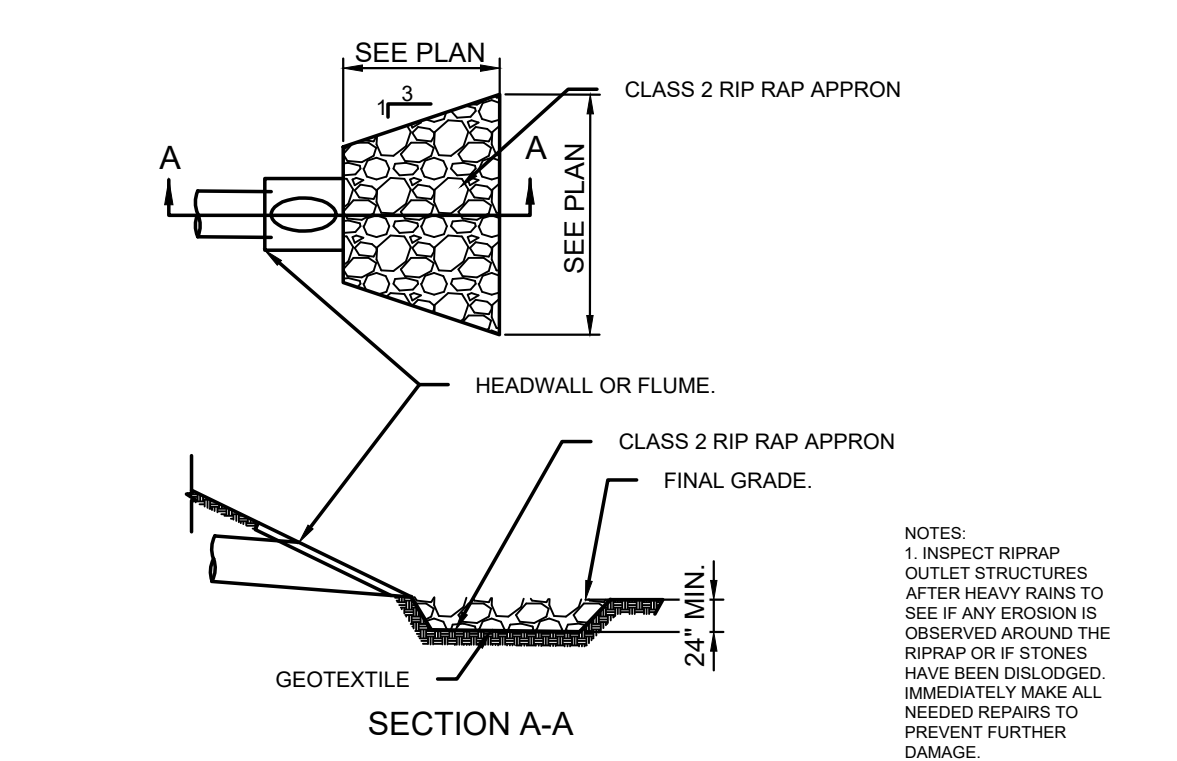
FERTILIZER SHOULD NOT BE MIXED WITH THE SEED-INOCULANT MIXTURE BECAUSE FERTILIZER SALTS MAY DAMAGE SEED AND REDUCE GERMINATION AND SEEDING VIGOR. FERTILIZER MAY BE APPLIED WITH HYDRO SEEDER AS A SEPARATE OPERATION AFTER SEEDLINGS ARE ESTABLISHED.

MULCHING
THE USE OF AN APPROPRIATE MULCH WILL HELP ENSURE ESTABLISHMENT OF VEGETATIVE COVER UNDER NORMAL CONDITIONS AND IS ESSENTIAL TO SEEDING SUCCESS UNDER HARSH SITE CONDITIONS (SEE THE MULCHING PRACTICE FOR GUIDANCE). HARSH SITE CONDITIONS INCLUDE THE FOLLOWING:
• SEEDING IN LATE FALL FOR WINTER COVER (WOOD FIBER MULCHES ARE NOT CONSIDERED ADEQUATE FOR THIS USE).



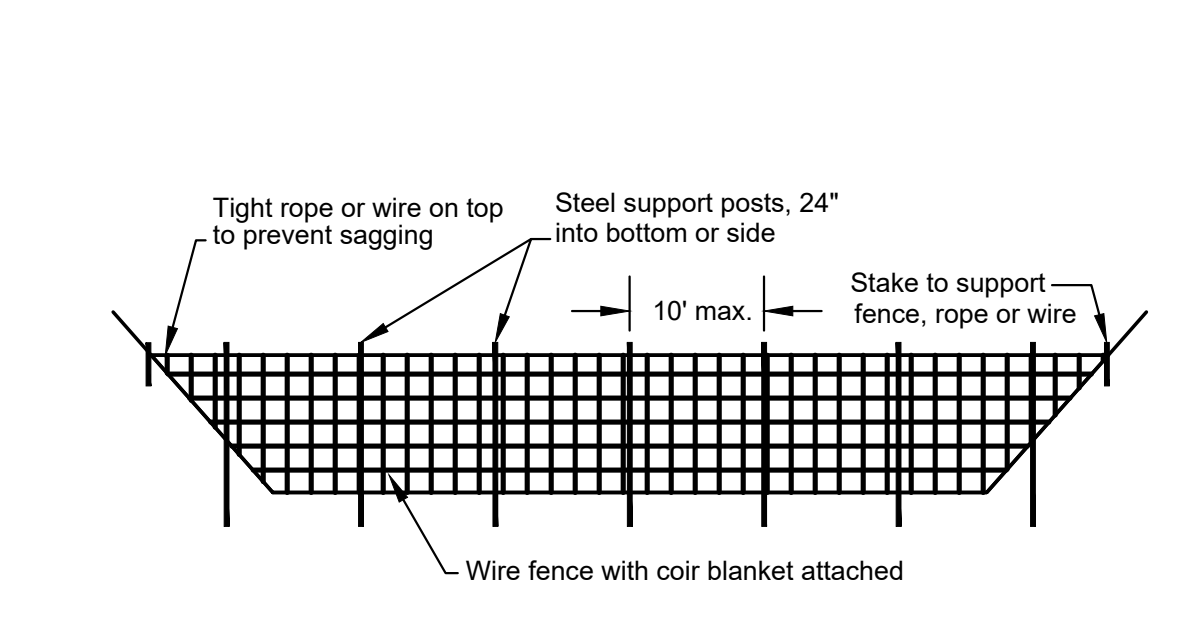
ADEM PERMIT SIGN DETAIL

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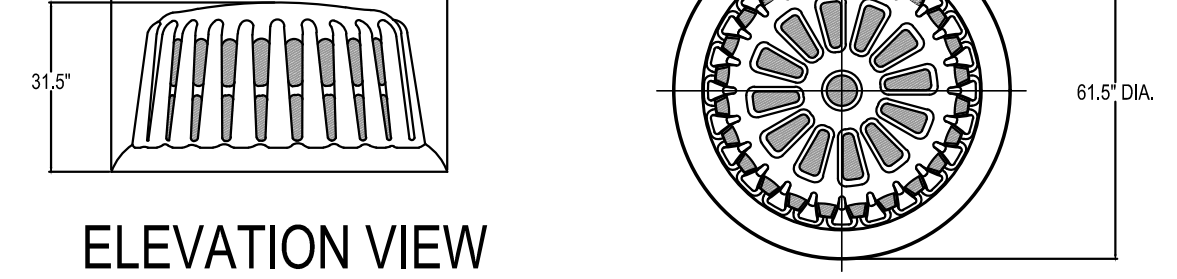
OP - RIP-RAP APRON DETAIL

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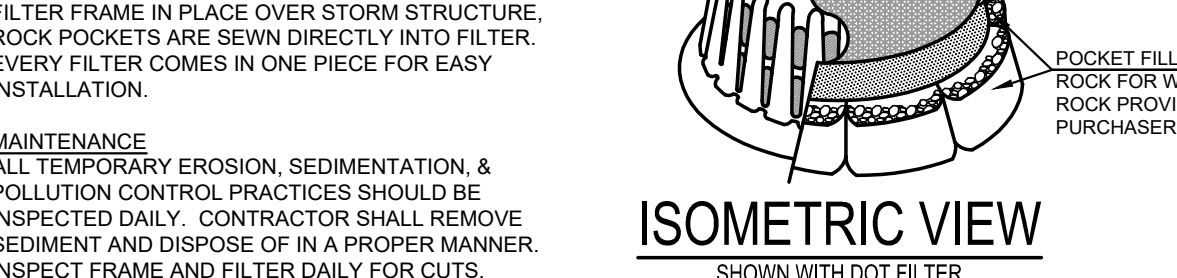
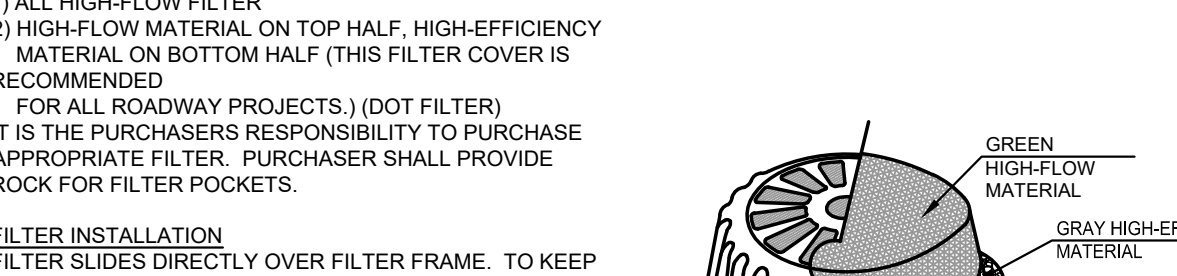


SEEDBED PREPARATION

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ELEVATION VIEW



ISOMETRIC VIEW

SHOWN WITH DOT FILTER

REPLACEMENT FILTERS: MODEL # R-140HF OR R-340 DOT

ROUND FRAME & FILTER ASSEMBLY

Model # R-100A 60" DIAMETER

MTTR ENGINEERS, INC. CONSULTING ENGINEERS-LAND SURVEYORS 2500 SOUTHLAKE PARK, SUITE 100, HOOVER, AL 35244 TELEPHONE (205) 320-0114



BMP NOTES DETAILS/DETAILS PARKSTONE MEADOWS KATIE LANE LEEDS ALABAMA Parkstone Meadows, LLC, Sheridan, Wyo 82801

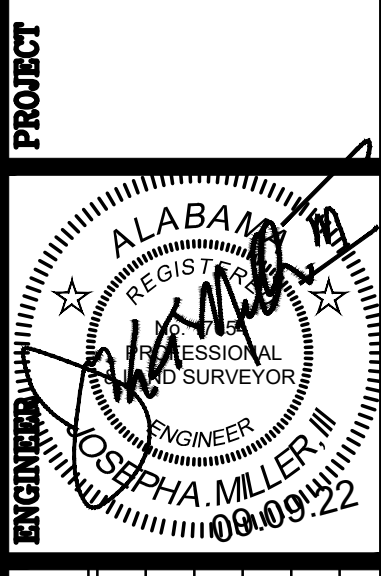
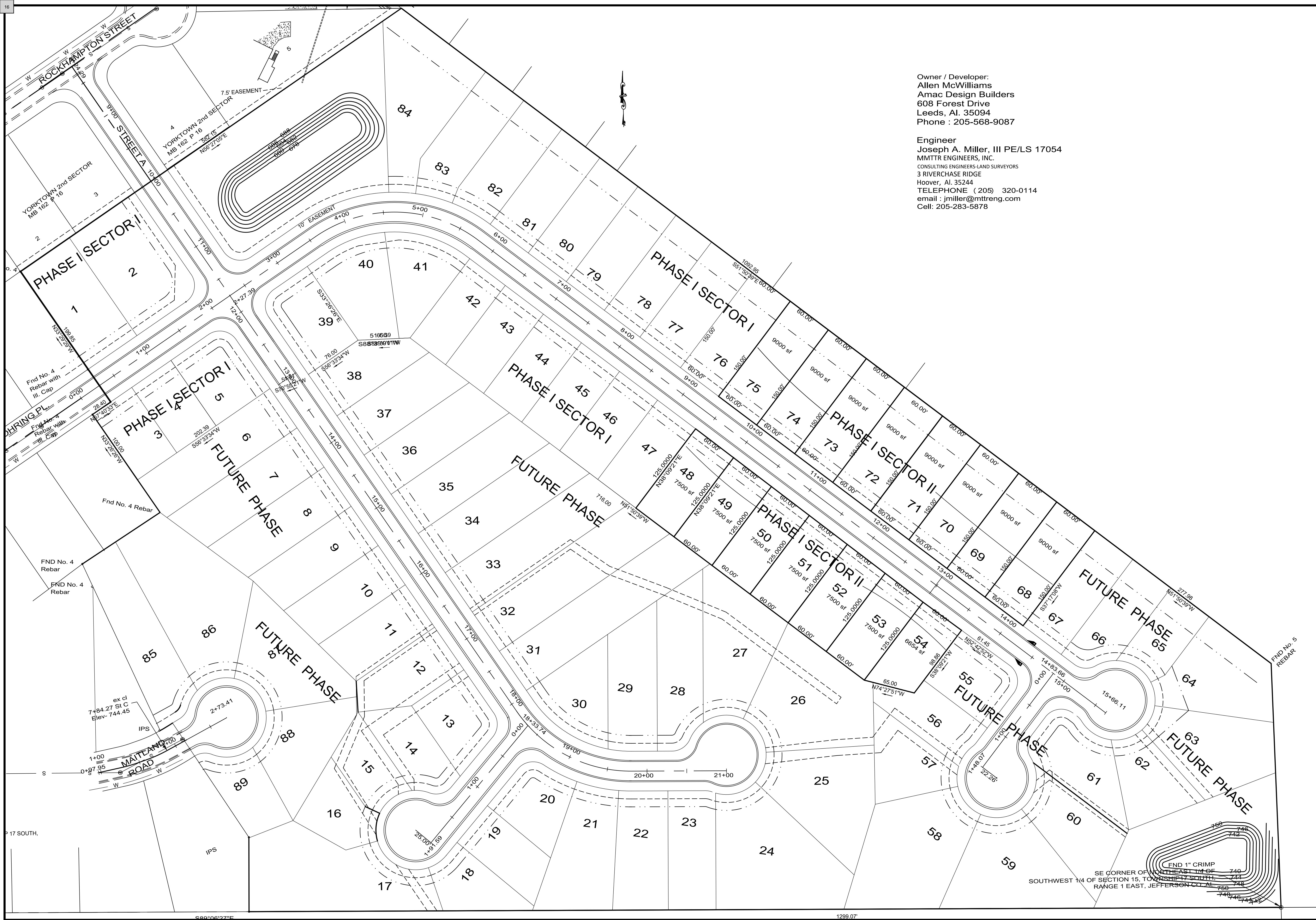


Table with columns: REVISIONS, DATE, and content for revisions.

JOB NO: SUBDIVISIONS FILE NAME: PARKSTONE MEADOWS SHEET: 03-10-22 DATE: 03-10-22 DRAWN: JAM III CHECKED: JAM III SCALE: 1"=60' SHEET

File Attachments for Item:

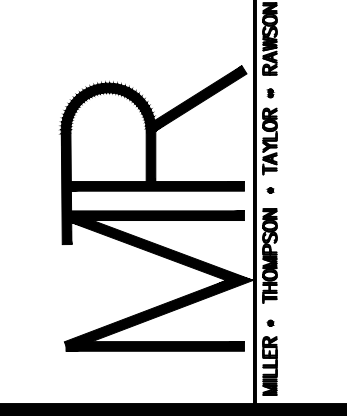
2. SA22-000020 - A request by Crystal Grimmer, Applicant, AMIC, Property Owner, for preliminary plat approval for Rockhampton Phase One (1) Sector Two (2) and Rockhampton Phase Two (2) located at 1250 Maitland Rd, Leeds, AL 35094, TPID 2500153001004001, Jefferson County, Zoned R-2, Single Family District



Owner / Developer:
 Allen McWilliams
 Amac Design Builders
 608 Forest Drive
 Leeds, Al. 35094
 Phone : 205-568-9087

Engineer
 Joseph A. Miller, III PE/LS 17054
 MMTTR ENGINEERS, INC.
 CONSULTING ENGINEERS-LAND SURVEYORS
 3 RIVERCHASE RIDGE
 Hoover, Al. 35244
 TELEPHONE (205) 320-0114
 email : jmillerm@mttreng.com
 Cell: 205-283-5878

MTTR ENGINEERS, INC.
 CONSULTING ENGINEERS-LAND SURVEYORS
 3 RIVERCHASE RIDGE
 Hoover, Al. 35244
 TELEPHONE (205) 320-0114



PRELIMINARY PLAN FOR
 PHASE I SECTOR II
 LOTS 48-54 AND LOTS 68-75
ROCK HAMPTON
 SITUATED IN NORTH 1/2 OF SW 1/4 SECTION 15, TOWNSHIP 17 SOUTH, RANGE 1 EAST
 CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA



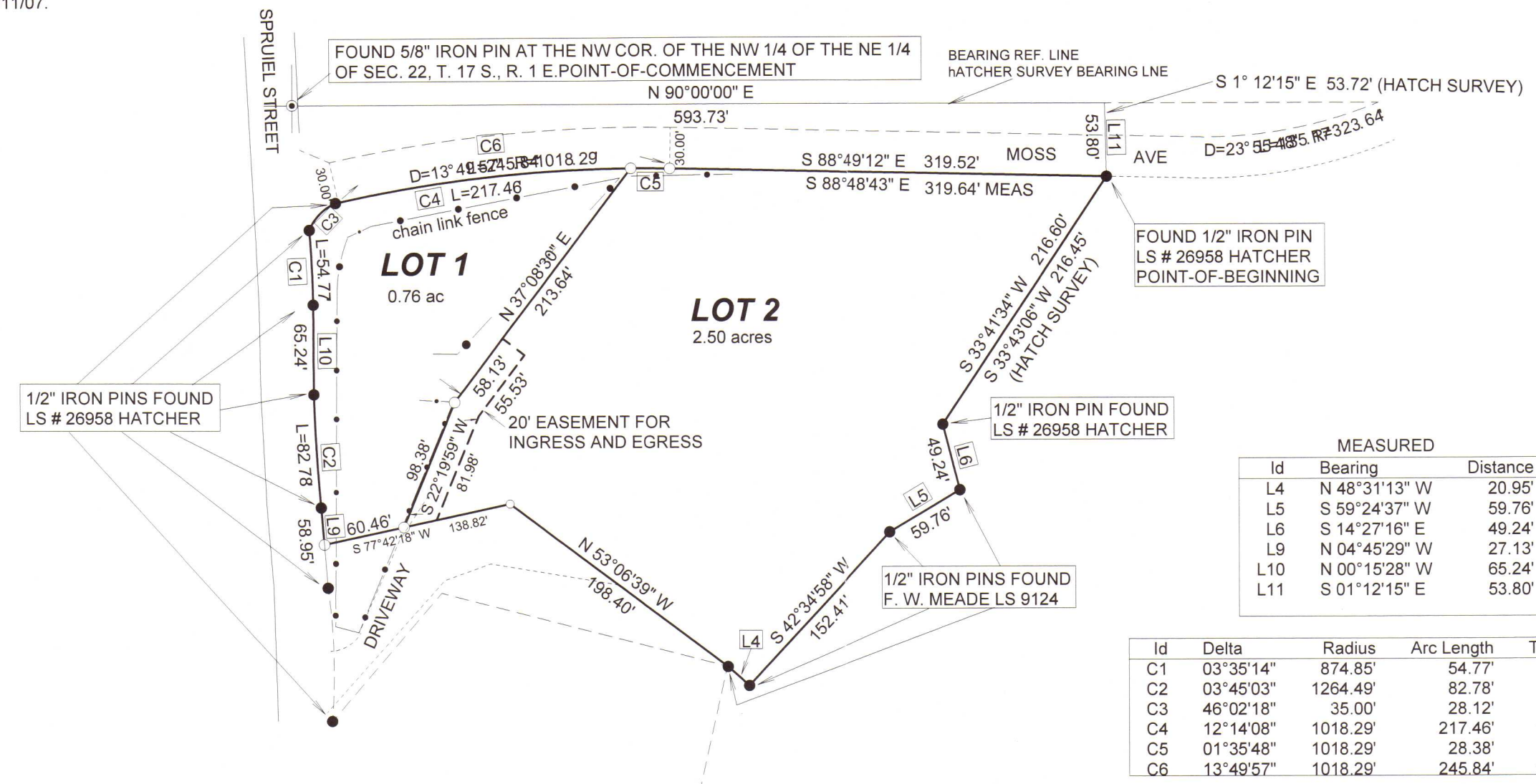
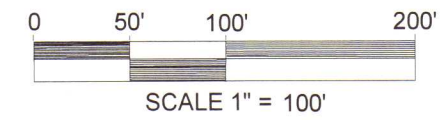
DATE	REVISIONS

JOB NO:
 FILE NAME: I/SUBDIVISIONS
 ROCK HAMPTON
 DATE:
 09.22.23
 DRAWN:
 JAM
 CHECKED:
 JAM III
 SCALE:
 1"=60'
 SHEET

File Attachments for Item:

3. SA22-000021 - A request by Kenneth and Sandra Simmons, Applicant and Owner for two (2) lot subdivision at 8681 Spruiell St., TPID 250022100008004, Jefferson County, Zoned - I-2, Heavy Industrial District

BASIS OF SURVEY: SURVEYS BY CHARLES R. HATCHER DATED SEPT. 8, 2007, AND 9/11/07.



MEASURED			HATCH SURVEY		
Id	Bearing	Distance	Bearing	Distance	
L4	N 48°31'13" W	20.95'	N 48°35'14" W	20.94'	
L5	S 59°24'37" W	59.76'	S 59°46'23" W	59.73'	
L6	S 14°27'16" E	49.24'	S 14°30'15" E	49.28'	
L9	N 04°45'29" W	27.13'	N 04°45'04" W		
L10	N 00°15'28" W	65.24'	N 01°01'36" W	65.34'	
L11	S 01°12'15" E	53.80'	S 00°00'00" E	53.72'	

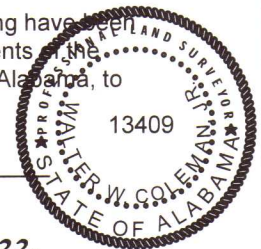
Id	Delta	Radius	Arc Length	Tangent	Chord	Ch Bear
C1	03°35'14"	874.85'	54.77'	27.40'	54.76'	N 02°46'32" W
C2	03°45'03"	1264.49'	82.78'	41.40'	82.76'	N 03°29'59" W
C3	46°02'18"	35.00'	28.12'	14.87'	27.37'	N 44°17'43" E
C4	12°14'08"	1018.29'	217.46'	109.14'	217.05'	N 83°27'00" E
C5	01°35'48"	1018.29'	28.38'	14.19'	28.38'	S 89°37'06" E
C6	13°49'57"	1018.29'	245.84'	123.52'	245.24'	N 84°15'00" E

DESCRIPTION:
 Commence at a 5/8" iron pin at the Northwest corner of the Northwest 1/4 of the Northeast 1/4 of Section 22, Township 17 South, Range 1 East; thence North 90 degrees East a distance of 593.73 feet; thence South 1 degree 12 minutes 15 seconds East a distance of 53.80 feet to a 1/2" iron pin for a point-of-beginning; thence South 33 degrees 41 minutes 34 seconds West a distance of 216.60 feet to a 1/2" iron pin; thence South 14 degrees 27 minutes 16 seconds East a distance of 49.24 feet to a 1/2" iron pin; thence South 59 degrees 24 minutes 37 seconds West a distance of 59.76 feet to a 1/2" iron pin; thence South 42 degrees 34 minutes 58 seconds West a distance of 152.41 feet to a 1/2" iron pin; thence North 48 degrees 13 minutes 13 seconds West a distance of 20.95 feet to a 1/2" iron pin; thence North 53 degrees 06 minutes 39 seconds West a distance of 198.40 feet to a mark in concrete; thence South 77 degrees 42 minutes 18 seconds West a distance of 138.82 feet to a 1/2" iron pin on the easterly right-of-way of Spruiel Street; thence North 4 degrees 45 minutes 29 seconds West a distance of 27.13 feet to a 1/2" iron pin at the beginning of a curve to the right which has a radius of 1264.49 feet, a delta angle of 3 degrees 45 minutes 03 seconds and a chord of North 3 degrees 29 minutes 59 seconds West, 82.76 feet(chord length); thence along the arc of said curve a distance of 82.78 feet to a 1/2" iron pin; thence North 0 degrees 15 minutes 28 seconds West a distance of 65.24 feet to the beginning of a curve to the left which has a radius of 874.85 feet, a delta angle of 3 degrees 35 minutes 14 seconds and a chord of North 2 degrees 46 minutes 32 seconds West, 54.77 feet(chord length); thence along the arc of said curve a distance of 28.12 feet to a 1/2" iron pin at the beginning of a curve to the right which has a radius of 35 feet, a delta angle of 46 degrees 02 minutes 18 seconds and a chord of North 44 degrees 17 minutes 43 seconds East, 27.37 feet(chord length); thence along the arc of said curve a distance of 28.12 feet to a 1/2" iron pin at the beginning of a curve to the right which has a radius of 1018.269 feet, a delta angle of 13 degrees 49 minutes 57 seconds and a chord of North 84 degrees 15 minutes 00 seconds East, 245.24 feet(chord length); thence along the arc of said curve a distance of 245.84 feet to a 1/2" iron pin; thence South 88 degrees 49 minutes 12 seconds East a distance of 319.64 feet to the point-of-beginning. Containing 3.25 acres and lying in the Northwest 1/4 of the Northeast 1/4 of Section 22, Township 17 South, Range 1 East, Jefferson County, Alabama.

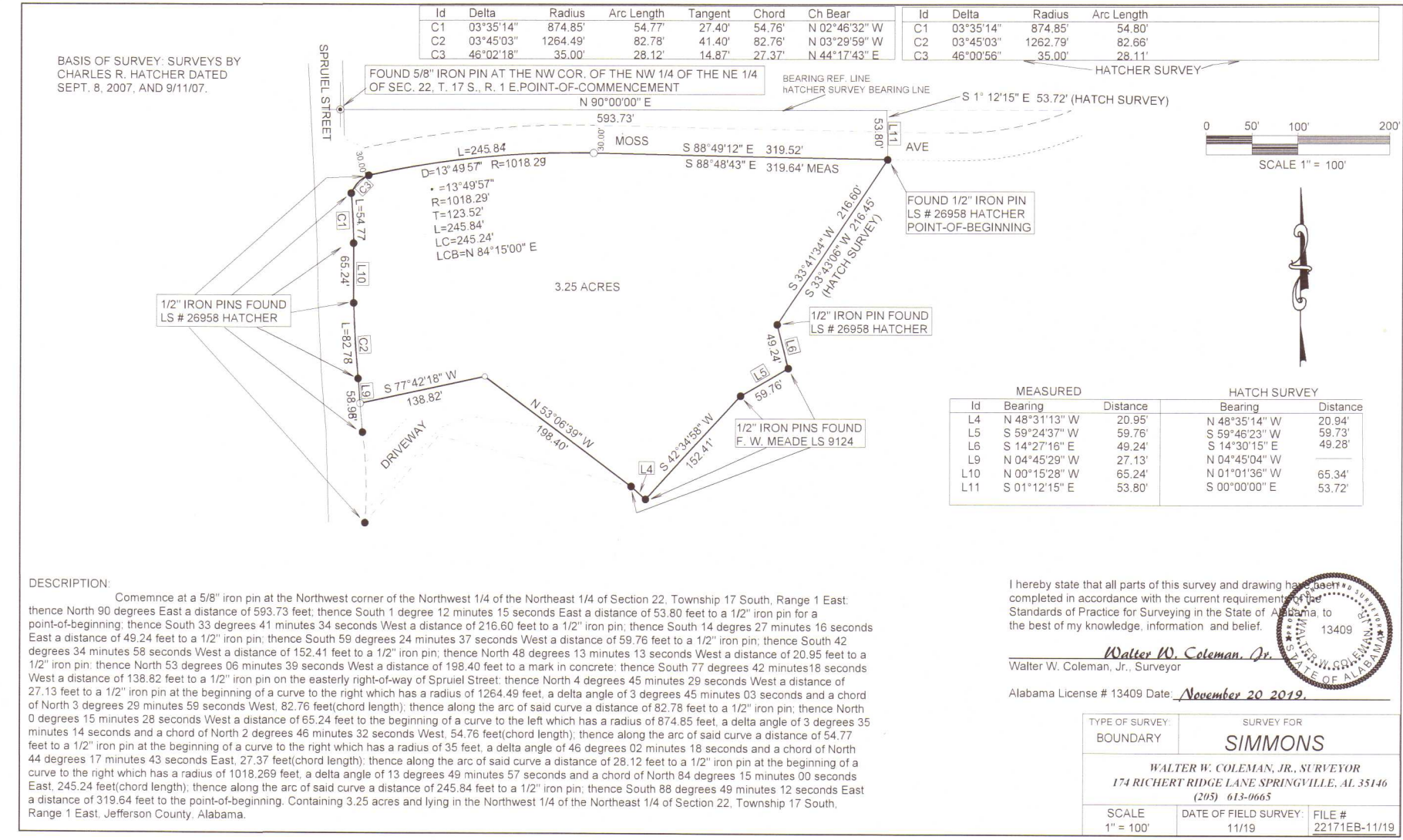
I hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama, to the best of my knowledge, information and belief.

Walter W. Coleman, Jr.
 Walter W. Coleman, Jr., Surveyor

Alabama License # 13409 Date: April 7, 2022.



TYPE OF SURVEY: BOUNDARY	SURVEY FOR SIMMONS	
WALTER W. COLEMAN, JR., SURVEYOR 174 RICHERT RIDGE LANE SPRINGVILLE, AL 35146 (205) 613-0665		
SCALE 1" = 100'	DATE OF FIELD SURVEY: 11/19 & 3/22	FILE # 22171EB2-4/22



I hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama, to the best of my knowledge, information and belief.

Walter W. Coleman, Jr.
 Walter W. Coleman, Jr., Surveyor
 Alabama License # 13409 Date: November 20 2019

TYPE OF SURVEY: BOUNDARY	SURVEY FOR SIMMONS		
WALTER W. COLEMAN, JR., SURVEYOR 174 RICHERT RIDGE LANE SPRINGVILLE, AL 35146 (205) 613-0665			
SCALE 1" = 100'	DATE OF FIELD SURVEY: 11/19	FILE # 22171EB-11/19	